

State of Illinois) SS
Belvidere, Illinois)

BELVIDERE CITY COUNCIL
REGULAR MEETING
AGENDA

December 18, 2023

Convened in the Council Chambers, 401 Whitney Blvd, Belvidere IL at 7:00 p.m.
Mayor Morris presiding.

(1) Roll Call:

(2) Pledge of Allegiance:
Invocation:

(3) Public Comment: (Please register with the City Clerk):

(4) Approval of Minutes:

(A) Approval of minutes of the regular meeting of the Belvidere City Council of
December 4, 2023; as presented.

(5) Public Hearing:

(A) Proposed Property Tax Levy.

(6) Special Messages and Proclamations:

(A) Pam Lopez-Fettes – Growth Dimensions.
(B) IDA Public Library.

(7) Approval of Expenditures: General & Special Fund Expenditures: \$ 2,582,378.80
Water & Sewer Fund Expenditures: \$ 476,788.18

(8) Committee Reports and Minutes of City Officers:

(A) Monthly Report of Belvidere Police Department Overtime Pay for November
2023.
(B) Monthly Report of Belvidere Fire Department Overtime Pay for November
2023.
(C) Monthly Report of Community Development Department/Planning
Department for November 2023.
(D) Monthly Report of Building Department Revenues, Residential Building
Permits for November 2023.
(E) Monthly General Fund Report for November 2023.
(F) Monthly Water/Sewer Fund Report November 2023.
(G) Monthly CD Investments for November 2023.

(H) Minutes of Committee of the Whole – Building, Planning and Zoning and Public Works of December 11, 2023.

(9) Unfinished Business:

- (A) Ord. #651H – 2nd Reading: An Ordinance Levying Taxes for all Corporate Purposes for the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.
- (B) Ord. #652H – 2nd Reading: An Ordinance Making a Levy and Providing for a Special Service Area #2 Tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.
- (C) Ord. #653H – 2nd Reading: An Ordinance Making a Levy and Providing for a Special Area #3 Tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and end April 30, 2024.
- (D) Ord. #654H – 2nd Reading: An Ordinance Authorizing the Execution of a Pre-Annexation Agreement Between the City of Belvidere and Rock Road Companies, Inc. Relating to a Quarry East of Irene Road and South of Graham Road in Boone County Illinois.
- (E) Ord. #655H – 2nd Reading: An Ordinance Amending Section 110-91, Stop Streets, of the City of Belvidere Municipal Code to Add Union Avenue at West 6th Street as a Four-Way Stop Intersection.
- (F) Ord. #656H – 2nd Reading: An Ordinance Amending Section 14-152 of the City of Belvidere Municipal Code to Increase the Number of Video Gaming Location Permits and Provide for Non-Abandonment of Licenses Pending State Approval.

(10) New Business:

- (A) Waive Sec. 2-88, Referral to Committees, with respect to approval of the Bid Tabulation for Well #11 Drilling.
- (B) Motion to approve the low bid from Municipal Well & Pump, in the amount of \$1,380,138.00, to complete the drilling of Well #11. This work will be paid for from the IEPA Public Water Supply Loan Program.

Motions forwarded from Committee of the Whole – Building, Planning and Zoning and Public Works of December 11, 2023.

Motions of Public Works – Chairman Daniel Snow:

- (A) Motion to purchase a 2023 John Deere 624P end-loader from West Side Tractor Sales, in the amount of \$242,600.00. The end loader will be paid for from Depreciation Line Item #61-1790.

(B) Motion to purchase a 2.5-yard capacity salt spreader from Automotive Solutions, in the amount of \$7,900.00, to be installed on Street Department Truck #2019. The Salt Spreader will be paid for from Capital Line Item #41-5-752-8200.

Motions of Finance & Personnel – Chairman Wendy Frank:

(C) Motion to consent to the appointment of Sandra Stevens as Alderperson of the 1st Ward to fill the vacancy created by the resignation of Alderperson Porter for the remainder of the term.

(11) Adjournment:

State of Illinois) SS
Belvidere, Illinois)

BELVIDERE CITY COUNCIL
REGULAR MEETING
MINUTES

Date: December 4, 2023

Convened in the Belvidere Council Chambers, 401 Whitney Blvd, Belvidere, Illinois
at 6:00 p.m.

Call to order by Mayor Morris.

(1) Roll Call: Present: J. Albertini, R. Brereton, M. Fleury, W. Frank, M. Freeman,
S. Gramkowski, M. McGee, N. Mulhall and D. Snow.

Absent: None.

Other staff members in attendance:

Public Works Director Brent Anderson, Budget and Finance Officer Shannon Hansen,
Police Chief Shane Woody, Fire Chief Shawn Schadle, Director of Buildings Kip
Countryman, Community Development Planner Gina DelRose, City Attorney Mike
Drella and City Clerk Sarah Turnipseed.

(2) Pledge of Allegiance:

Invocation: Mayor Morris.

(3) Public Comment: Mayor Morris reported and thanked everyone that made
Hometown Christmas and Shop with Cop/Firefighter a success this
year.

Mayor Morris opponent of motion made on November 27, 2023, to
increase Tax Levy by 17.33%.

Cherie Bartelt opponent of motion made on November 27, 2023, to
increase Tax Levy by 17.33%.

Deanna Viel opponent of motion made on November 27, 2023, to
increase Tax Levy by 17.33%.

Belvidere City Council
December 4, 2023

(4) Approval of Minutes:

- (A) Approval of minutes of the regular meeting of the Belvidere City Council of November 20, 2023; as presented.

Motion by Ald. Gramkowski, 2nd by Ald. McGee to approve the minutes of the regular meeting of the Belvidere City Council of November 20, 2023. Aye voice vote carried. Motion carried.

(5) Public Hearing: None.

(6) Special Messages and Proclamations: None.

(7) Approval of Expenditures: None.

(8) Committee Reports and Minutes of City Officers:

- (A) Approval of the Minutes of Committee of the Whole – Public Safety, Finance & Personnel of November 27, 2023; as presented.

Motion by Ald. Frank, 2nd by Ald. McGee to approve the minutes of Committee of the Whole – Public Safety, Finance & Personnel of November 27, 2023. Aye voice vote carried. Motion carried.

(9) Unfinished Business:

- (A) Ord. #650H – 2nd Reading: An Ordinance Relating to Public Act 102-1143 The Illinois Paid Leave for All Workers Act and Establishing Paid Leave Requirements for All City Employees.

Motion by Ald. Frank, 2nd by Ald. McGee to pass Ord. #650H. Roll Call Vote: 9/0 in favor. Ayes: Albertini, Brereton, Fleury, Frank, Freeman, Gramkowski, McGee, Mulhall and Snow. Nays: None. Motion carried.

(10) New Business:

- (A) Ord. #651H – 1st Reading: An Ordinance Levying Taxes for all Corporate Purposes for the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.
- (A) Ord. #652H – 1st Reading: An Ordinance Making a Levy and Providing for a Special Service Area #2 Tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.
- (B) Ord. #653H – 1st Reading: An Ordinance Making a Levy and Providing for a Special Area #3 Tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and end April 30, 2024.

Belvidere City Council
December 4, 2023

- (C) Ord. #654H – 1st Reading: An Ordinance Authorizing the Execution of a Pre-Annexation Agreement Between the City of Belvidere and Rock Road Companies, Inc. Relating to a Quarry East of Irene Road and South of Graham Road in Boone County Illinois.
- (D) Ord. #655H – 1st Reading: An Ordinance Amending Section 110-91, Stop Streets, of the City of Belvidere Municipal Code to Add Union Avenue at West 6th Street as a Four-Way Stop Intersection.
- (E) Ord. #656H – 1st Reading: An Ordinance Amending Section 14-152 of the City of Belvidere Municipal Code to Increase the Number of Video Gaming Location Permits and Provide for Non-Abandonment of Licenses Pending State Approval.

Let the record show Ordinance #651H, #652H, #653H, #654H, #655H and #656H were placed on file for first reading.

Motions forwarded from Committee of the Whole – Public Safety, Finance & Personnel of November 27, 2023.

- (A) Motion to consent to the appointment of Clayton Stevens as Alderman of the 1st Ward to fill the vacancy created by the Resignation of Alderman Porter for the remainder of the term. Roll Call Vote: 4/5 in favor. Ayes: Brereton, Frank, Gramkowski and McGee. Nays: Fleury, Freeman, Mulhall, Snow and Albertini. Motion Lost.
- (B) Motion to purchase a 2015 International 10-yard dump truck from the Village of East Dundee, in the amount of \$30,000.00. The truck will be paid for from Street Department Line Item #01-5-310-6020. Roll Call Vote: 9/0 in favor. Ayes: Fleury, Frank, Freeman, Gramkowski, McGee, Mulhall, Snow, Albertini and Brereton. Nays: None. Motion carried.
- (C) Motion to approve the proposal from Monroe Truck Equipment, in the amount \$25,026.00, for a 10-yard dump box. The dump box will be paid for from Street Department Line Item #01-5-310-6020. Roll Call Vote: 9/0 in favor. Ayes: Frank, Freeman, Gramkowski, McGee, Mulhall, Snow, Albertini, Brereton and Fleury. Nays: None. Motion carried.

Belvidere City Council
December 4, 2023

(11) Adjournment:

Motion by Ald. Frank, 2nd by Ald. Brereton to adjourn meeting at 6:33 p.m. Aye voice vote carried. Motion carried.

Mayor

Attest:

City Clerk

Notice of Proposed Property Tax Levy for the City of Belvidere

I. A public hearing to approve a proposed property tax levy for the City of Belvidere for 2023 will be held on December 18, 2023 at 6:00 p.m. in the City Council Chambers located at 401 Whitney Boulevard, Belvidere, Illinois.

Any person desiring to appear at the public hearing and present testimony to the taxing district may contact Shannon Hansen, Budget & Finance Officer, 401 Whitney Boulevard, Suite 100, Belvidere, Illinois 61008 (815-544-2612).

II. The corporate and special purpose property taxes extended or abated for 2022 were \$6,006,634.

The proposed corporate and special purpose property taxes to be levied for 2023 are \$7,038,812. This represents a 17.3% increase over the previous year.

III. The property taxes extended for debt service for 2022 were \$0.00.

The estimated property taxes to be levied for debt service for 2023 are \$0.00.

IV. The total property taxes extended or abated for 2022 were \$6,006,634.

The estimated total property taxes to be levied for 2023 are \$7,038,812. This represents a 17.3% increase over the previous year.

V. The tax levy for Special Service Areas #2 and #3 shall not exceed 0.12% of the value as equalized or assessed of taxable property within the Special Service Areas #2 and #3.

Published in Boone County Journal December 7, 2023

Bills Payable Summary
DATE OF PAYABLES

December 18, 2023

General Fund	\$2,474,151.89
Envision Healthcare (JE)	\$30,786.79
ADP Payroll Fees (JE)	\$1,869.35
Grants Account (JE)	\$9,885.00
Special Funds:	
Farmington Ponds SSA#2	\$58.12
Farmington Ponds SSA#3	\$101.67
Capital	\$57,597.86
MFT	\$0.00
TIF	\$0.00
Escrow	\$7,928.12
 Total General & Special Funds:	 \$2,582,378.80
 Water & Sewer:	 \$476,788.18
 Total of all Funds	 \$3,059,166.98

Select Department	Start Date	End Date	Employment Profile - Effective Date	Home Department Description	Payroll Name	Pay Date	Overtime Earnings Total	Overtime Hours Total	ACT Police OT Earnings	ACT Police OT Hours	DBL - Double Time earnings	DBL - Double Time	Overtime Rate Paid
POLICE	11/01/2023	11/30/2023	Effective as of 12/12/2023		Bail, Michael H	11/09/2023	\$843.20	13.00	\$0.00	0.00	\$0.00	0.00	\$72.55
POLICE					Beil, Jeremy	11/24/2023	\$560.43	8.00	\$0.00	0.00	\$0.00	0.00	\$72.55
POLICE					Beil, Jeremy	11/24/2023	\$0.00	0.00	\$70.50	1.00	\$0.00	0.00	\$72.55
POLICE					Bird, David M	11/09/2023	\$725.54	10.00	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Blankenship, Timothy	11/24/2023	\$326.49	4.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Blankenship, Timothy	11/09/2023	\$672.98	10.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Bogdonas, Michelle A	11/24/2023	\$288.42	4.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Bogdonas, Michelle A	11/09/2023	\$352.51	5.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Brox, Kc N	11/24/2023	\$368.54	5.75	\$0.00	0.00	\$0.00	0.00	\$59.39
POLICE					Danielak, Joseph W	11/09/2023	\$1,633.10	27.50	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Danielak, Joseph W	11/24/2023	\$2,102.89	38.50	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Deiavan, Thomas S	11/24/2023	\$1,228.96	22.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Deiavan, Thomas S	11/09/2023	\$1,730.52	27.00	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Derry, Paul D	11/24/2023	\$192.28	3.00	\$0.00	0.00	\$0.00	0.00	\$72.55
POLICE					Derry, Paul D	11/09/2023	\$616.71	8.50	\$0.00	0.00	\$0.00	0.00	\$72.55
POLICE					Ellingson, David	11/24/2023	\$398.05	5.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Ellingson, David	11/09/2023	\$1,890.75	29.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Ellingson, David	11/24/2023	\$64.09	1.00	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Garcia, Christopher R	11/09/2023	\$873.93	16.00	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Garcia, Christopher R	11/24/2023	\$1,037.79	19.00	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Gibson, Matthew	11/24/2023	\$104.73	2.00	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Golden, Steven	11/09/2023	\$235.64	4.50	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Golden, Steven	11/24/2023	\$314.18	6.00	\$0.00	0.00	\$0.00	0.00	\$48.41
POLICE					Jones, Anthony M.	11/24/2023	\$1,476.62	30.50	\$0.00	0.00	\$0.00	0.00	\$72.55
POLICE					King, Paul M	11/09/2023	\$870.65	12.00	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Kirk, Julie A.	11/24/2023	\$1,089.59	17.00	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Korn, Matthew D	11/09/2023	\$1,420.13	26.00	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Korn, Matthew D	11/24/2023	\$928.55	17.00	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Kozlowski, Robert E	11/09/2023	\$2,563.73	40.00	\$0.00	0.00	\$0.00	0.00	\$56.70
POLICE					Kozlowski, Robert E	11/24/2023	\$865.26	13.50	\$0.00	0.00	\$0.00	0.00	\$56.70
POLICE					Lane, Cory T	11/09/2023	\$340.21	6.00	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Lopez, Katelyn M	11/24/2023	\$481.97	8.50	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Mears, Adam M	11/09/2023	\$710.07	13.00	\$0.00	0.00	\$0.00	0.00	\$42.19
POLICE					Mears, Adam M	11/24/2023	\$546.20	10.00	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Ochoa, Carlos	11/09/2023	\$21.10	.50	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Ochoa, Carlos	11/24/2023	\$105.48	2.50	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Rackley, Dillon Robert	11/09/2023	\$183.27	3.50	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Rackley, Dillon Robert	11/24/2023	\$628.37	12.00	\$0.00	0.00	\$0.00	0.00	\$64.09
POLICE					Schwartz, Michelle	11/09/2023	\$320.47	5.00	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Schwartz, Michelle	11/24/2023	\$192.28	3.00	\$0.00	0.00	\$0.00	0.00	\$52.36
POLICE					Smith, Zachary	11/09/2023	\$628.37	12.00	\$0.00	0.00	\$0.00	0.00	\$42.19
POLICE					Smith, Zachary	11/24/2023	\$864.01	16.50	\$0.00	0.00	\$0.00	0.00	\$42.19
POLICE					Venegas, Gerardo	11/09/2023	\$105.48	2.50	\$0.00	0.00	\$0.00	0.00	\$54.62
POLICE					Venegas, Gerardo	11/24/2023	\$305.89	7.25	\$0.00	0.00	\$0.00	0.00	\$59.39
POLICE					Worley, Cameron D	11/09/2023	\$600.82	11.00	\$0.00	0.00	\$0.00	0.00	\$59.39
POLICE					Zapf, Richard M	11/24/2023	\$801.70	13.50	\$0.00	0.00	\$0.00	0.00	\$59.39
POLICE					Zapf, Richard M	11/09/2023	\$504.78	8.50	\$0.00	0.00	\$0.00	0.00	\$59.39
Grand Totals							\$33,237.73	563.50	\$70.50	1.00	\$0.00	0.00	\$0.00

Select Department	01-220				
Start Date	11/01/2023				
End Date	11/30/2023				
Employment Profile - Effective Date	Effective as of 12/12/2023				
Home Department Description					
FIRE	Payroll Name	Pay Date	Overtime Earnings Total	Overtime Hours Total	Overtime Rate Paid
FIRE	Beck, Mark E	11/09/2023	\$1,635.53	36.75	\$44.50
FIRE	Beck, Mark E	11/24/2023	\$712.07	16.00	\$44.50
FIRE	Burdick, David	11/09/2023	\$1,402.15	26.00	\$53.93
FIRE	Ellwanger, Adam A	11/09/2023	\$1,009.68	24.00	\$42.07
FIRE	Ellwanger, Adam A	11/24/2023	\$10.52	.25	\$42.07
FIRE	Eber, Joseph D	11/09/2023	\$637.91	17.25	\$36.98
FIRE	Eber, Joseph D	11/24/2023	\$406.78	11.00	\$36.98
FIRE	Fox, Kevin W	11/09/2023	\$1,009.68	24.00	\$42.07
FIRE	Herman, Ronald D	11/09/2023	\$1,004.70	24.00	\$41.86
FIRE	Jankowski, Jason	11/24/2023	\$154.92	5.00	\$30.98
FIRE	Krebs, James J	11/24/2023	\$221.43	5.00	\$44.29
FIRE	Mead, Stephen C	11/09/2023	\$157.21	4.00	\$39.30
FIRE	Mitchell, Cory	11/24/2023	\$775.28	24.00	\$32.30
FIRE	Pavlatos, Gregory R	11/09/2023	\$672.04	15.25	\$44.07
FIRE	Pavlatos, Gregory R	11/24/2023	\$352.54	8.00	\$44.07
FIRE	Tangye, Travis N	11/09/2023	\$166.34	3.25	\$51.18
FIRE	Tangye, Travis N	11/24/2023	\$243.11	4.75	\$51.18
FIRE	Thornton, Nicolas J	11/09/2023	\$101.86	2.00	\$50.93
FIRE	Vaughan, Jeffrey C	11/09/2023	\$433.92	9.75	\$44.50
FIRE	Winnie, Todd J	11/09/2023	\$176.86	4.50	\$39.30
Grand Totals			\$11,284.53	264.75	
Total					

Fire Overtime Report - November 2023

Pay Periods 10/21/23 -11/17/2023

Home Department Description	Payroll Name	Date	Overtime Hours	Timecard Work Labor Field 1
FIRE	Beck, Mark E	10/21/2023	10	Fire Dept Training
FIRE	Beck, Mark E	10/22/2023	8.25	Fire Dept Training
FIRE	Beck, Mark E	10/25/2023	3	Additional Manpower
FIRE	Beck, Mark E	10/28/2023	8.5	Fire Dept Training
FIRE	Beck, Mark E	10/30/2023	5	Fire Dept Training
FIRE	Beck, Mark E	11/2/2023	2	Inspections
FIRE	Beck, Mark E	11/8/2023	4.5	Teams
FIRE	Beck, Mark E	11/9/2023	5	Additional Manpower
FIRE	Beck, Mark E	11/14/2023	6.5	Inspections
Totals for Payroll Name Beck, Mark E				
Total			52.75	
FIRE	Burdick, David	10/26/2023	2	Administration
FIRE	Burdick, David	10/29/2023	24	Fire Dept Shift Coverage
Totals for Payroll Name Burdick, David				
Total			26	
FIRE	Eilwanger, Adam A	10/28/2023	24	Fire Dept Shift Coverage
FIRE	Eilwanger, Adam A	11/6/2023	0.25	Additional Manpower
Totals for Payroll Name Eilwanger, Adam A				
Total			24.25	
FIRE	Erber, Joseph D	10/21/2023	10	Fire Dept Training
FIRE	Erber, Joseph D	10/29/2023	5	Fire Dept Training
FIRE	Erber, Joseph D	11/1/2023	2.25	Additional Manpower
FIRE	Erber, Joseph D	11/4/2023	8	Fire Dept Training
FIRE	Erber, Joseph D	11/8/2023	3	Teams
Totals for Payroll Name Erber, Joseph D				
Total			28.25	

FIRE	Fox, Kevin W	11/11/2023	24	Fire Dept Training
Totals for Payroll Name Fox, Kevin W				
Total			24	

FIRE	Herman, Ronald D	10/21/2023	24	Fire Dept Shift Coverage
Totals for Payroll Name Herman, Ronald D				
Total			24	

FIRE	Jankowski, Jason	11/9/2023	5	Additional Manpower
Totals for Payroll Name Jankowski, Jason				
Total			5	

FIRE	Kriebs, James J	11/9/2023	5	Additional Manpower
Totals for Payroll Name Kriebs, James J				
Total			5	

FIRE	Mead, Stephen C	10/21/2023	2	Additional Manpower
FIRE	Mead, Stephen C	10/31/2023	2	Additional Manpower
Totals for Payroll Name Mead, Stephen C				
Total			4	

FIRE	Mitchell, Cory	11/10/2023	24	Fire Dept Training
Totals for Payroll Name Mitchell, Cory				
Total			24	

FIRE	Pavlatos, Gregory R	10/22/2023	9.5	Fire Dept Training
FIRE	Pavlatos, Gregory R	10/28/2023	5.75	Teams

FIRE	Pavlatos, Gregory R	11/9/2023	8	Additional Manpower
Totals for Payroll Name Pavlatos, Gregory R				
Total			23.25	

FIRE	Tangye, Travis N	10/23/2023	3.25	Inspections
FIRE	Tangye, Travis N	11/9/2023	4.75	Additional Manpower
Totals for Payroll Name Tangye, Travis N				8
Total				

FIRE	Thornton, Nicolas J	10/27/2023	2	Public Education
Totals for Payroll Name Thornton, Nicolas J				2
Total				

FIRE	Vaughan, Jeffery C	10/29/2023	9.75	Fire Dept Training
Totals for Payroll Name Vaughan, Jeffery C				9.75
Total				

FIRE	Winnie, Todd J	10/29/2023	2.5	Teams
FIRE	Winnie, Todd J	11/2/2023	2	Fire Dept Shift Coverage
Totals for Payroll Name Winnie, Todd J				4.5
Total				

Grand Totals
 Total 264.75

BELVIDERE

Community Development Department Planning Department

401 Whitney Boulevard, Suite 300, Belvidere, Illinois, 61008 (815) 547-7177 FAX (815) 547-0789

November 2023 Monthly Report

Number	Project	Description	Processed
0	Cases: November	None	
0	Cases: December	None	
0	Annexation	Rock Road Quarry, Irene Road	
0	Temporary Uses	None	
1	Site Plans (New/Revised)	2170 Pearl Street	11/15/2023
1	Final Inspection	1615 N. State Street	11/1/2023
1	Downtown Overlay Review	408 S. State Street, awning sign	11/2/2023
3	Prepared Zoning Verification Letters	860 Biester Drive	11/8/2023
		2234 Gateway Center Drive	11/13/2023
		525 Carpenter Street	11/21/2023
1	Issued Address Letters	1504-1576 Crosslink Parkway (Walmart Bldgs)	11/28/2023
	Belvidere Historic Preservation Commission	The November meeting was cancelled.	
	Heritage Days	None	
	Hometown Christmas	Staff continues to attend meetings . City Staff decorated the City Hall lobby tree, painted the City Hall windows, collected presents for and decorated the sponsored 4-H Community Building Tree.	
	Comprehensive Plan	Staff attended a workshop that was open to the public and reviewed findings from a series of stakeholder meetings.	
	Scanned Plats: E-mail, Print and/or Burn		
0	Recorder's Office		
0	Other Department		
0	General Public		

Planning Department Current Duties

Close out completed planning case files

Respond to all FOIA requests

Work with 911, Fire Department and Post Office to verify all addresses in the City

Assist Growth Dimensions with requested data

Planning Monthly Report Cont.

Meetings and phone calls with developers regarding potential development

Phone calls/walk-ins for questions regarding zoning, floodplain, development, etc.

Prepare minutes, agendas and packets for various committees, commissions and boards

Prepare deposits and purchase orders for bill payments

*** Staff processed a Downtown Façade Improvement Grant reimbursement

*** Staff attended a Watershed Stewardship for Leaders Program



City of Belvidere

Building Department Revenues

November 2023



Total Permits Issued

71

Total Value of Construction

\$950,811.00

	# of Permits	
Building Fees	71	\$13,126.06
Electric Permit Fees	13	\$900.00
Plumbing Permit Fees	3	\$422.50
HVAC Permit Fees	0	\$0.00
Insulation Permit Fees	0	\$0.00
Plan Review Fees	19	\$308.75
Zoning Review Fees	19	\$220.00
Fire Dept Review Fees	0	\$0.00
Sign Permit Fees	2	\$155.00
Fence Permit Fees	2	\$60.00
SW, DW, & GR Fees	4	\$240.00
Reinspection/Misc	0	\$0.00
Total Permit Income		\$15,432.31
Enterprize Zone Discount	1	\$162.50
Total Permit Fees		\$15,594.81
Break Down of Commercial vs. Residential Income		
Commercial / Industrial Income	6	\$1,344.81
Residential Income	65	\$14,250.00
		value
Multi Family	0	\$0.00
Single Family Residence	0	\$0.00
Commercial / Industrial	6	\$84,548.00
Other Residential	65	\$866,236.00

NOVEMBER 2023 MONTHLY PERMIT REPORT

Permit #	Date	Street #	Dir	Street Name	Zone	Value	Construction Type	BLDG	ELECT	PLUMB	HVAC	INS	REVW	ZONG	FD REVW	SIGN	FENCE	SW/DW	AMT PD	EZ	TOTAL FEE
2023-1288	11/01/23	143		Glades Ct	SR6	\$10,000.00	tear off / re roof	\$185.00											\$185.00		\$185.00
2023-1289	11/01/23	1206		Dalbigne St	SR6	\$24,000.00	tear off / re roof	\$395.00											\$395.00		\$395.00
2023-1292	11/09/23	820	E	2nd St	SR6	\$15,000.00	siding	\$260.00											\$260.00		\$260.00
2023-1269	11/06/23	1618	E	Fairfield Trl	SR4	\$1,897.00	Windows	\$65.00											\$65.00		\$65.00
2023-1295	11/06/23	408	S	State St	SR4	\$500.00	Awning w/sign	\$25.00					\$25.00			\$25.00			\$25.00		\$110.00
2023-1286	11/06/23	107	W	1st St	CB	\$18,000.00	siding	\$162.50											\$162.50		\$162.50
2023-1299	11/06/23	403	E	4th St	SR6	\$8,000.00	siding	\$155.00											\$155.00		\$155.00
2023-1303	11/07/23	2018		Lafayette Dr	SR6	\$14,000.00	tear off / re roof	\$245.00											\$245.00		\$245.00
2023-1293	11/07/23	1923		Burnett Dr	SR6	\$16,000.00	tear off / re roof	\$275.00											\$275.00		\$275.00
2023-1294	11/07/23	1943		Burnett Dr	SR6	\$15,000.00	tear off / re roof	\$260.00											\$260.00		\$260.00
2023-1296	11/07/23	1354		Friedstone Dr	SR4	\$10,000.00	tear off / re roof	\$370.00											\$370.00		\$370.00
2023-1298	11/07/23	801		Nancy Ln	SR4	\$17,000.00	tear off / re roof	\$290.00											\$290.00		\$290.00
2023-1302	11/07/23	320	E	Hardbur Ave	SR6	\$16,000.00	tear off / re roof	\$275.00											\$275.00		\$275.00
2023-1306	11/07/23	4120		Hearstone Ln	SR4	\$18,000.00	tear off / re roof	\$305.00											\$305.00		\$305.00
2023-1275	11/07/23	810		Sullivan Dr	SR6	\$16,000.00	tear off / re roof	\$275.00											\$275.00		\$275.00
2023-1309	11/08/23	2725		Clines Ford Dr	SR4	\$2,000.00	door	\$65.00											\$65.00		\$65.00
2023-1307	11/08/23	617		Meadow St	SR6	\$9,000.00	siding	\$155.00											\$155.00		\$155.00
2023-1222	11/08/23	1874		Crystal Pkwy	PR	\$17,386.00	animated sign	\$25.00	\$50.00							\$25.00			\$220.00		\$220.00
2023-1300	11/08/23	623	W	Madison St	SR6	\$19,000.00	tear off / re roof	\$320.00											\$320.00		\$320.00
2023-1281	11/08/23	615		Carpenier	SR6	\$3,000.00	Windows	\$80.00											\$80.00		\$80.00
2023-1317	11/09/23	2163		Burnett Dr	SR6	\$12,000.00	tear off / re roof	\$215.00											\$215.00		\$215.00
2023-1313	11/09/23	618	E	Boone St	SR6	\$17,000.00	tear off / re roof	\$290.00	\$75.00										\$290.00		\$290.00
2023-1315	11/09/23	1080		East Ave	SR6	\$10,530.00	Solar Panel Install	\$105.00					\$10.00	\$10.00					\$200.00		\$200.00
2023-1305	11/09/23	2055		Law Cir	SR6	\$17,000.00	tear off / re roof	\$290.00											\$290.00		\$290.00
2023-1310	11/09/23	1921		Lafayette Dr	SR4	\$4,800.00	priv sidewalk	\$25.00											\$25.00		\$25.00
2023-1316	11/09/23	807		Bridgevater Dr	SR6	\$10,000.00	tear off / re roof	\$185.00											\$185.00		\$185.00
2023-1318	11/13/23	505	E	McKinley Ave	SR6	\$8,000.00	tear off / re roof	\$155.00											\$155.00		\$155.00
2023-1322	11/13/23	1300		Boone St	SR4	\$2,000.00	tear off / re roof	\$95.00											\$95.00		\$95.00
2023-1323	11/13/23	501		Riverbend Ln	SR4	\$8,000.00	tear off / re roof	\$305.00											\$305.00		\$305.00
2023-1321	11/14/23	1504		Logan Ave	SR6	\$2,000.00	siding	\$65.00											\$65.00		\$65.00
2023-1320	11/14/23	912		8th Ave	SR6	\$37,633.00	Solar Panel install	\$105.00	\$75.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1319	11/14/23	202		Taylor Ridge	SR4	\$32,876.00	Solar Panel install	\$105.00	\$75.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1331	11/14/23	323	W	Gall Ct	SR6	\$21,384.00	Solar Panel Install	\$105.00	\$75.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1258	11/14/23	2614	E	Perry St	SR6	\$30,400.00	Solar Panel install	\$105.00	\$75.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1325	11/14/23	616	N	Farrington Ct	SR4	\$13,000.00	tear off / re roof	\$230.00											\$230.00		\$230.00
2023-1330	11/14/23	1020	E	State St	SR6	\$18,000.00	tear off / re roof	\$305.00											\$305.00		\$305.00
2023-1327	11/14/23	519	E	5th St	SR6	\$2,000.00	tear off / re roof	\$65.00											\$65.00		\$65.00
2023-1326	11/14/23	518		4th St	SR6	\$2,000.00	tear off / re roof	\$140.00											\$140.00		\$140.00
2023-1333	11/14/23	2016		King St	SR6	\$7,000.00	tear off / re roof	\$140.00											\$140.00		\$140.00
2023-1326	11/14/23	902		Indian Dancer Trl	SR4	\$22,000.00	tear off / re roof	\$365.00											\$365.00		\$365.00
2023-1340	11/15/23	2165		Bridgevater Dr	SR4	\$7,000.00	tear off / re roof	\$140.00											\$140.00		\$140.00
2023-1340	11/15/23	2165		W Ln	MR-SL	\$15,000.00	replace entry door	\$235.00											\$235.00		\$235.00
2023-1336	11/15/23	1326		Caswell St	SR6	\$14,000.00	re roof & sky lights	\$245.00											\$245.00		\$245.00
2023-1344	11/16/23	407		Allen	SR6	\$1,700.00	tear off / re roof	\$65.00											\$65.00		\$65.00
2023-1337	11/17/23	217	W	9th St	SR6	\$20,000.00	deck	\$10.00	\$10.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1329	11/17/23	2242		Ridgefield Dr	SR4	\$13,900.00	Solar Panel Install	\$75.00											\$230.00		\$230.00
2023-1342	11/17/23	509		Royal Ave	SR4	\$20,000.00	tear off / re roof	\$335.00											\$335.00		\$335.00
2023-1345	11/17/23	2501	W	Farrington Ct	SR4	\$13,766.00	tear off / re roof	\$335.00											\$335.00		\$335.00
2023-1353	11/20/23	916		Fremont	SR6	\$5,400.00	Solar Panel Install	\$105.00	\$75.00				\$10.00	\$10.00					\$200.00		\$200.00
2023-1349	11/20/23	2110		Lake Shore Dr	SR6	\$1,912.00	Water Service Repair	\$25.00											\$25.00		\$25.00
2023-1348	11/20/23	418		Franklin St	SR6	\$23,000.00	fence	\$180.00											\$180.00		\$180.00
2023-1395	11/20/23	106	S	State St	CB	\$8,500.00	tear off / re roof	\$380.00											\$380.00		\$380.00
2023-1395	11/20/23	647	W	Lincoln Ave	SR6	\$9,000.00	plumbing	\$115.00											\$115.00		\$115.00
2023-1341	11/20/23	1435	W	Andrews Dr	SR6	\$16,000.00	tear off / re roof	\$275.00											\$275.00		\$275.00
2023-1287	11/21/23	226		9th	SR6	\$270.00	Windows	\$275.00											\$275.00		\$275.00
2023-1352	11/21/23	1958		Lafayette Dr	SR6	\$17,000.00	fence	\$25.00											\$25.00		\$25.00
2023-1356	11/21/23	3709		Eastwood	MR-SL	\$2,600.00	tear off / re roof	\$290.00											\$290.00		\$290.00
2023-1356	11/21/23	3709		Eastwood	MR-SL	\$2,600.00	replace driveway	\$25.00											\$25.00		\$25.00

RESIDENTIAL MONTHLY REPORT NOVEMBER 2023

Account #	Start Date	End Date	Days	Address	SR#	Estimate #	Description	Estimate Amount	Actual Amount	Balance	Outstanding									
2023-1363	11/28/23		329	Perry St	SR6		Remodel House	\$565.00	\$25.00	\$130.00	\$720.00									
2023-1334	11/29/23		2816	Francis St	SR6		Windows	\$200.00			\$200.00									
2023-1354	11/30/23		1512	Conlin Ct	SR6		tear off / re roof	\$380.00			\$380.00									
2023-1368	11/30/23		821	St. Croix	SR6		tear off / re roof	\$305.00			\$305.00									
								\$866,263.00	\$12,450.00	\$850.00	\$310.00	\$0.00	\$0.00	\$170.00	\$170.00	\$0.00	\$0.00	\$60.00	\$240.00	\$14,250.00

COMMERCIAL MONTHLY REPORT NOVEMBER 2023

Commercial Permits June 2022

Permit #	Date	Street #	Dir	Street Name	Zone	Value	Construction Type	BLDG	ELECT	PUMPB	HVAC	INS	REWW	ZONG	FD REWW	SIGN	FENCE SW/DW	AMT PD	EZ	TOTAL FEE	
2023-1295	11/06/23	408	S	State St	CH	\$500.00	Awning w/ sign	\$25.00						\$25.00	\$75.00	\$35.00	\$0.00	\$110.00	\$162.50	\$325.00	
2023-1286	11/06/23	107	W	1st St	CH	\$18,000.00	sidling	\$162.50								\$120.00		\$162.50	\$162.50	\$325.00	
2023-1272	11/08/23	1874		Crystal Pkwy	FR	\$17,395.00	animated sign	\$25.00	\$50.00					\$25.00				\$220.00	\$220.00	\$220.00	
2023-1395	11/20/23	106	S	State St	CH	\$8,500.00	plumbing	\$115.00		\$112.50								\$341.25	\$341.25	\$341.25	
2023-1366	11/28/23	515	S	State St	CH	\$0.00	renew permit #20221186	\$75.00										\$75.00	\$75.00	\$75.00	
2023-1328	11/29/23	314	S	State St	CH	\$40,212.00	rear off / re roof	\$273.56										\$273.56	\$273.56	\$273.56	
						\$84,548.00		\$676.06	\$50.00	\$112.50	\$0.00	\$0.00	\$113.75	\$50.00	\$25.00	\$155.00	\$0.00	\$0.00	\$1,182.31	\$162.50	\$1,344.81

EZ Discount Report - NOVEMBER 2023

Permit #	Date	Street #	Dir	Street Name	Zone	Value	Construction Typ	BLDG	ELECT	PLUMB	HVAC	INS	REVV	ZONG	FD REVW	SIGN	FENCE	SW/DW	AMT PD	EZ	TOTAL FEE	
2023-1286	11/09/23	107	W	1st St	CB	\$18,000.00	siding	\$162.50					\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$162.50	\$162.50	\$325.00
						\$18,000.00		\$162.50	\$0.00				\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$162.50	\$162.50	\$325.00

NOVEMBER 2023 DEPOSIT RECORDS

DATE	BUILDG	ELECT	PLUMBING	HVAC	INSL	REWW	ZONG	SIGN	FENCE	SW&DW	AMT PAID	EZ DISC	TOTAL FEE	REINSPECT/ MISC	FD Reww	CODE ENF	ELECTR CERT	TOTAL DEP
11/1/2023											\$580.00		\$580.00					\$580.00
11/2/2023											\$0.00		\$0.00				\$50.00	\$50.00
11/3/2023											\$260.00		\$260.00			\$175.00		\$435.00
11/6/2023											\$407.50		\$407.50					\$407.50
11/7/2023											\$2,295.00	\$162.50	\$2,457.50			\$493.75		\$2,788.75
11/8/2023											\$645.00		\$645.00					\$645.00
11/9/2023											\$50.00		\$50.00					\$50.00
11/9/2023											\$1,030.00		\$1,030.00			\$100.00		\$880.00
11/13/2023											\$790.00		\$790.00					\$790.00
11/14/2023											\$1,895.00		\$1,895.00					\$1,895.00
11/15/2023											\$300.00		\$300.00					\$300.00
11/16/2023											\$40.00		\$40.00					\$40.00
11/17/2023											\$140.00		\$140.00					\$140.00
11/17/2023											\$545.00		\$545.00					\$545.00
11/17/2023											\$775.00		\$775.00					\$775.00
11/20/2023											\$990.00		\$990.00					\$990.00
11/20/2023											\$150.00		\$150.00					\$150.00
11/21/2023											\$470.00		\$470.00					\$470.00
11/22/2023											\$210.00		\$210.00					\$210.00
11/22/2023											\$150.00		\$150.00					\$150.00
11/27/2023											\$295.00		\$295.00					\$295.00
11/28/2023											\$640.00		\$640.00					\$640.00
11/29/2023											\$473.56		\$473.56					\$473.56
11/30/2023											\$685.00		\$685.00				\$50.00	\$735.00
											\$13,126.06		\$13,126.06					\$13,126.06
											\$900.00		\$900.00					\$900.00
											\$422.50		\$422.50					\$422.50
											\$0.00		\$0.00					\$0.00
											\$0.00		\$0.00					\$0.00
											\$308.75		\$308.75					\$308.75
											\$220.00		\$220.00					\$220.00
											\$155.00		\$155.00					\$155.00
											\$60.00		\$60.00					\$60.00
											\$240.00		\$240.00					\$240.00
											\$15,432.31		\$15,432.31					\$15,432.31
											\$162.50		\$162.50					\$162.50
											\$15,594.81		\$15,594.81					\$15,594.81
											\$0.00		\$0.00					\$0.00
											\$0.00		\$0.00					\$0.00
											\$768.75		\$768.75					\$768.75
											\$100.00		\$100.00					\$100.00
											\$16,301.06		\$16,301.06					\$16,301.06

INCOME STATEMENT FOR THE GENERAL FUND

			Through	November	2023	
	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
General Administration						
RE Property Tax	01-4-110-4010	1,770,704.94	47,769.75	1,771,565.35	1,769,385	100%
Hotel / Motel Tax	01-4-110-4011	3,980.28	0.00	431.23	2,200	20%
Auto Rental Tax	01-4-110-4012	8,170.04	903.31	5,221.94	8,000	65%
Muni Infrastructure Maint	01-4-110-4013	70,884.89	5,669.89	40,235.17	70,105	57%
State Income Tax	01-4-110-4100	4,094,235.45	295,776.67	2,488,457.46	4,151,926	60%
Home Rule Sales Tax	01-4-110-4109	1,569,897.68	188,951.44	958,927.60	1,603,027	60%
Muni Sales Tax	01-4-110-4110	5,037,083.37	563,768.57	3,097,483.49	5,148,032	60%
Sales Tax to Developer	01-4-110-4111	0.00	0.00	0.00	0	0%
Local Use Tax	01-4-110-4112	1,031,810.57	76,940.30	537,402.19	970,947	55%
Local Motor Fuel Tax	01-4-110-4113	390,702.87	35,393.90	220,512.89	405,000	54%
Cannabis Tax	01-4-110-4115	39,894.75	3,157.43	22,091.85	40,076	55%
Replacement Tax	01-4-110-4120	1,689,573.59	0.00	839,053.96	1,500,000	56%
Repl Tax Dist to Pensions	01-4-110-4121	(264,297.00)	0.00	0.00	(264,297)	0%
Grants	01-4-110-4150	0.00	0.00	55,500.00	0	0%
American Rescue Plan Act	01-4-110-4152	1,710,788.18	0.00	1,758,523.58	0	0%
Business License	01-4-110-4200	9,365.00	345.00	10,350.00	9,980	104%
Liquor License & Fines	01-4-110-4210	168,800.00	10,000.00	151,820.00	162,100	94%
Amusement Machine	01-4-110-4230	106,639.67	0.00	111,875.00	113,000	99%
Court Fines	01-4-110-4400	145,439.41	9,103.71	90,413.14	120,000	75%
Parking Fines	01-4-110-4410	3,660.00	0.00	585.00	2,000	29%
Seized Vehicle Fee	01-4-110-4420	45,950.00	3,300.00	22,800.00	35,000	65%
Engr Fees-Subdivision	01-4-110-4430	119,833.00	0.00	37,269.00	0	#DIV/0!
Video Gambling	01-4-110-4440	541,209.21	43,997.44	322,514.76	500,000	65%
Franchise Fees	01-4-110-4450	254,574.63	52,548.82	168,196.53	262,313	64%
Comcast Fees	01-4-110-4455	0.00	0.00	0.00	0	0%
Death/Birth Certificates	01-4-110-4460	22,478.00	1,206.00	10,859.00	21,174	51%
Accident/Fire Reports	01-4-110-4470	3,175.00	160.00	1,620.00	3,465	47%
Annexation/Plat Fees	01-4-110-4471	59,298.44	0.00	0.00	0	#DIV/0!
Tipping Fees	01-4-110-4472	21,609.46	4,282.02	129,173.86	20,000	646%
Fuel Charges (outside vendors)	01-4-110-4550	499,211.24	50,565.96	332,084.54	485,000	68%
Interest Income	01-4-110-4600	382,828.12	74,105.40	419,322.23	24,000	1747%
Miscellaneous	01-4-110-4900	183,249.74	1,048,109.93	2,151,492.00	130,400	1650%
Heritage Days	01-4-110-4901	90,968.86	0.00	33,576.00	0	#DIV/0!
Historic Pres. Fundraising	01-4-110-4902	858.60	275.00	275.00	0	0%
Historic Pres. Grant Reimb.	01-4-110-4903	0.00	0.00	0.00	0	0%
Sale of Assets	01-4-110-4950	0.00	0.00	0.00	0	0%
Operating Transfer in (Reserves)	01-4-110-9998	0.00	0.00	0.00	0	0%
Total General Administration Revenues		19,812,577.99	2,516,330.54	15,789,632.77	17,292,833	91%
Salaries - Elected Officials	01-5-110-5000	215,888.40	16,333.61	123,731.43	215,889	57%
Salaries - Regular - FT	01-5-110-5010	226,442.65	23,503.58	111,633.85	249,211	45%
Group Health Insurance	01-5-110-5130	465,308.60	37,632.42	287,307.01	518,316	55%
Health Ins Claims Pd (Dental)	01-5-110-5131	30,472.00	2,593.60	15,305.04	30,000	51%
Group Life Insurance	01-5-110-5132	1,368.90	45.15	268.78	1,377	20%
Health Insurance Reimb.	01-4-110-4540	(153,306.55)	(8,980.43)	(85,913.41)	(144,861)	59%
Unemployment Compensation	01-5-110-5136	2,506.96	0.00	0.00	0	0%
Memberships, Mtgs & Conf,	01-5-110-5154	3,149.60	2,455.80	4,921.62	31,655	16%
Subscriptions/Ed Materials	01-5-110-5156	715.20	0.00	0.00	0	#DIV/0!
Gen Admin Personnel & Benefit Expenses		792,545.76	73,583.73	457,254.32	901,587	51%
Repairs/Maint - Bldgs	01-5-110-6010	33,132.70	1,637.06	13,051.95	29,600	44%
Repairs/Maint - Equip	01-5-110-6020	3,235.97	396.80	2,106.45	5,000	42%
Legal	01-5-110-6110	9,493.39	1,998.64	4,698.84	46,250	10%
Other Professional Services	01-5-110-6190	106,919.29	1,568.42	16,389.11	92,000	18%
Back to Business Grant	01-5-110-6191	0.00	0.00	0.00	0	0%
Telephone	01-5-110-6200	21,042.92	2,221.85	6,483.67	21,250	31%
Codification	01-5-110-6225	950.00	0.00	513.00	6,200	8%
Other Communications	01-5-110-6290	1,655.56	145.46	923.77	2,250	41%
Gen Admin Contractual Expenses		176,429.83	7,968.23	44,166.79	202,550	22%

General Administration (cont)	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
Office Supplies	01-5-110-7020	108,715.04	2,701.56	59,051.84	122,334	48%
Gas and Oil	01-5-110-7030	481,925.30	37,834.80	312,742.20	460,000	68%
Other Supplies	01-5-110-7800	1,502.66	167.46	752.02	3,100	24%
Gen Admin Supplies Expenses		592,143.00	40,703.82	372,546.06	585,434	64%
Miscellaneous Expense	01-5-110-7900	93,410.99	3,552.86	1,059,263.93	33,150	3195%
Reimb of Seized Vehicle Fee	01-5-110-7901	0.00	0.00	0.00	0	0%
Heritage Days	01-5-110-7902	96,130.62	0.00	44,836.75	0	0%
Comcast Charges	01-5-110-7903	0.00	0.00	0.00	0	0%
Historic Preservation	01-5-110-7904	0.00	0.00	0.00	0	0%
Disaster Relief	01-5-110-7905	42,033.24	0.00	41,841.00	0	#DIV/0!
Operating Transfers Out (ARPA)	01-5-110-9990	929,430.84	53,816.05	180,882.62	0	#DIV/0!
Operating Transfers Out	01-5-110-9999	2,191,532.60	134,811.00	1,368,002.81	1,451,085	94%
Total General Administration Expenses		3,942,192.80	260,619.64	3,346,070.66	3,173,806	105%
NET GENERAL ADMINISTRATION		15,870,385.19	2,255,710.90	12,443,562.11	14,119,027	88%
General Fund - Audit Department						
RE Taxes - Audit	01-4-130-4010	20,051.20	540.88	20,057.96	20,000	100%
Accounting & Auditing	01-5-130-6100	45,390.00	0.00	43,660.00	50,000	87%
NET - AUDIT DEPARTMENT		(25,338.80)	540.88	(23,602.04)	(30,000)	79%
General Fund - IMRF Department						
RE Taxes - IMRF	01-4-140-4010	65,046.67	1,755.82	65,114.98	65,000	100%
Replacement Tax	01-4-140-4120	90,999.00	0.00	0.00	90,999	0%
Expense Reimbursement	01-4-140-4940	15,664.88	868.56	6,506.01	17,121	38%
Total IMRF Revenues		171,710.55	2,624.38	71,620.99	173,120	41%
IMRF Premium Expense	01-5-140-5120	119,758.64	6,445.00	47,455.12	99,630	48%
NET - IMRF DEPARTMENT		51,951.91	(3,820.62)	24,165.87	73,490	33%
General Fund - Social Security Department						
RE Taxes - FICA/Med	01-4-150-4010	200,157.81	5,399.55	200,244.16	200,000	100%
Expense Reimbursement	01-4-150-4940	146,492.59	11,950.38	88,319.88	158,110	56%
Library Expense Reimb.	01-4-150-4941	36,007.97	2,863.17	22,743.94	42,425	54%
Total Soc Security Revenues		382,658.37	20,213.10	311,307.98	400,535	78%
FICA Expense	01-5-150-5110	235,689.41	19,244.32	144,167.07	240,393	60%
Medicare Expense	01-5-150-5112	148,125.89	11,785.79	92,259.48	151,975	61%
Total Soc Security Expenses		383,815.30	31,030.11	236,426.55	392,368	60%
NET - SOCIAL SECURITY DEPT		(1,156.93)	(10,817.01)	74,881.43	8,167	817%
General Fund - Liability Insurance Dept						
RE Taxes - Ins Liability	01-4-160-4010	300,214.25	8,099.13	300,360.98	300,000	100%
Expense Reimbursement	01-4-160-4940	0.00	0.00	0.00	0	0%
Total Liability Insurance Revenues		300,214.25	8,099.13	300,360.98	300,000	100%
Insurance Premium	01-5-160-6800	470,305.33	472,444.18	472,444.18	484,430	98%
NET - LIABILITY INSURANCE DEPT		(170,091.08)	(464,345.05)	(172,083.20)	(184,430)	93%

Police Department	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
RE Property Tax	01-4-210-4010	1,202,323.45	35,665.63	1,322,677.15	1,321,032	100%
Grants	01-4-210-4150	22,148.92	64,936.29	143,356.82	20,750	691%
Asset Forfeiture Revenue	01-4-210-4386	8,858.78	0.00	3,071.48	0	#DIV/0!
Police Court Fines	01-4-210-4400	52,628.33	5,260.27	35,404.82	35,628	99%
eCitation Fees	01-4-210-4410	2,141.14	237.10	1,514.69	0	#DIV/0!
Police Accident Reports	01-4-210-4470	0.00	410.00	410.00	0	#DIV/0!
Sex Offender Reg Fee	01-4-210-4480	2,500.00	300.00	1,400.00	2,500	56%
Violent Offender Reg Fee	01-4-210-4490	0.00	0.00	0.00	0	0%
Miscellaneous Revenues	01-4-210-4900	32,076.45	5,262.95	23,501.85	35,000	67%
Expense Reimbursement	01-4-210-4940	19,247.05	0.00	3,187.66	0	0%
SRO Reimbursement	01-4-210-4945	85,146.52	21,674.24	63,896.84	108,180	59%
Sale of Assets	01-4-210-4950	32,000.00	0.00	12,970.00	0	0%
COSSAP Reimbursement	01-4-210-4955	135,570.47	20,653.30	72,322.55	0	0%
Total Police Department Revenues		1,594,641.11	154,399.78	1,683,713.86	1,523,090	111%
Salary - Regular - FT	01-5-210-5010	3,890,735.42	308,467.43	2,329,923.34	4,219,697	55%
Overtime	01-5-210-5040	290,874.09	33,308.23	296,221.71	365,650	81%
Police Pension	01-5-210-5122	1,781,438.00	393,191.25	786,382.50	1,572,765	50%
Health Insurance	01-5-210-5130	828,890.29	77,068.09	464,210.99	1,099,983	42%
Dental Claims	01-5-210-5131	47,429.92	5,144.80	29,320.82	52,000	56%
Unemployment Compensation	01-5-210-5136	1,043.42	0.00	0.00	0	0%
Uniform Allowance	01-5-210-5140	81,505.95	1,761.97	93,041.08	101,342	92%
Training	01-5-210-5152	53,695.53	2,407.30	68,301.14	132,780	51%
Police Dept Personnel & Benefit Expenses		6,975,612.62	821,349.07	4,067,401.58	7,544,217	54%
Repair/Maint-Equipment	01-5-210-6020	16,341.64	1,152.39	13,835.35	31,510	44%
Repair/Maint-Vehicles	01-5-210-6030	54,639.70	3,095.26	22,724.18	89,850	25%
Telephone/Utilities	01-5-210-6200	37,139.95	1,283.17	37,443.46	51,000	73%
Physical Exams	01-5-210-6810	13,467.50	1,575.00	2,015.00	11,840	17%
Community Policing	01-5-210-6816	4,674.57	105.40	3,802.05	10,000	38%
K-9 Program Expenses	01-5-210-6818	28,133.83	4,758.26	8,208.12	7,698	107%
Sex Offender State Disburse	01-5-210-6835	1,495.00	65.00	780.00	3,600	22%
Violent Offender State Disburse	01-5-210-6845	60.00	0.00	30.00	0	0%
Police Department - Contractual Expenses		155,952.19	12,034.48	88,838.16	205,498	43%
Office Supplies	01-5-210-7020	3,495.00	379.30	2,759.15	8,550	32%
Gas & Oil	01-5-210-7030	108,484.71	7,511.21	63,972.38	127,000	50%
Operating Supplies	01-5-210-7040	23,081.70	328.88	17,161.55	46,025	37%
Miscellaneous Expense	01-5-210-7900	8,790.29	57,444.16	63,391.40	18,700	339%
Police Asset Forfeiture Expense	01-5-210-7901	8,858.78	0.00	3,071.48	0	#DIV/0!
eCitation Expenses	01-5-210-7902	2,242.00	0.00	1,526.16	3,000	51%
Police Department - Supplies Expense		154,952.48	65,663.55	151,882.12	203,275	75%
Equipment	01-5-210-8200	42,858.23	5,052.08	12,175.60	45,230	27%
Vehicles	01-5-210-8300	0.00	0.00	0.00	0	#DIV/0!
Total Police Department Expenses		7,329,375.52	904,099.18	4,320,297.46	7,998,220	54%
NET - POLICE DEPARTMENT		(5,734,734)	(749,699)	(2,636,584)	(6,475,130)	41%
Public Safety Building Department						
Salaries - Regular - FT	01-5-215-5010	604,621.63	70,552.57	355,983.45	780,867	46%
Other (FICA & IMRF)	01-5-215-5079	83,696.73	8,946.06	45,138.72	123,455	37%
Other Contractual Services	01-5-215-6890	280,504.86	23,780.19	124,906.59	357,500	35%
NET - PUBLIC SAFETY BLDG DEPT		(968,823.22)	37,826.32	(526,028.76)	(1,261,822)	42%

Fire Department	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
RE Property Tax	01-4-220-4010	1,021,902.61	31,066.82	1,152,126.91	1,150,714	100%
Grants	01-4-220-4150	3,509.97	0.00	8,622.07	0	0%
Miscellaneous Revenues	01-4-220-4900	47,212.40	1,217.99	19,139.54	5,250	365%
Expense Reimbursement	01-4-220-4940	860.89	14,781.13	55,210.19	0	0%
Sale of Assets	01-4-220-4950	210,000.00	0.00	0.00	0	0%
Ambulance Services	01-4-220-4960	0.00	76,573.08	106,402.66	600,000	18%
Total Fire Department Revenues		1,283,485.87	123,639.02	1,341,501.37	1,755,964	76%
Salaries - Regular - FT	01-5-220-5010	2,315,718.51	184,781.83	1,459,284.67	2,569,796	57%
Overtime	01-5-220-5040	216,495.85	11,284.53	89,278.63	218,423	41%
Fire Pension	01-5-220-5124	1,439,187.00	311,755.50	623,511.00	1,247,022	50%
Health Insurance	01-5-220-5130	531,253.10	40,131.60	277,711.46	674,699	41%
Dental Insurance	01-5-220-5131	28,087.04	10,491.60	28,500.80	30,000	95%
Unemployment Compensation	01-5-220-5136	0.00	0.00	0.00	0	0%
Uniform Allowance	01-5-220-5140	35,397.45	1,115.10	39,556.40	40,200	98%
Training	01-5-220-5152	11,291.58	417.36	4,341.68	23,939	18%
Fire Depart Personnel & Benefits Expenses		4,577,430.53	559,977.52	2,522,184.64	4,804,079	53%
Repair/Maint-Bldg	01-5-220-6010	43,947.15	6,003.28	31,421.14	34,130	92%
Repair/Maint-Equipment	01-5-220-6020	17,905.12	1,294.55	14,993.15	17,050	88%
Repair/Maint-Vehicles	01-5-220-6030	46,883.58	10,478.38	31,227.57	49,000	64%
Telephone/Utilities	01-5-220-6200	11,213.06	1,202.55	6,577.42	11,811	56%
Physical Exams	01-5-220-6810	519.00	0.00	0.00	1,000	0%
Fire Prevention	01-5-220-6822	6,594.37	790.69	5,024.77	7,830	64%
Emergency Medical Supplies	01-5-220-6824	11,138.45	348.53	4,096.38	11,740	35%
Ambulance Services	01-5-220-6830	0.00	139,769.49	986,118.86	1,719,733	57%
Fire Department - Contractual Expenses		138,200.73	159,887.47	1,079,459.29	1,852,294	58%
Office Supplies	01-5-220-7020	29,697.38	1,733.90	26,952.20	33,850	80%
Gas & Oil	01-5-220-7030	27,759.67	1,967.30	15,102.24	35,094	43%
Operating Supplies	01-5-220-7040	8,296.17	348.63	3,841.68	9,900	39%
Miscellaneous Expense	01-5-220-7900	10,464.32	525.00	824.00	0	#DIV/0!
Fire Department - Supplies Expenses		76,217.54	4,574.83	46,720.12	78,844	59%
Equipment	01-5-220-8200	19,277.03	158.89	12,469.89	32,470	38%
Total Fire Department Expenses		4,811,125.83	724,598.71	3,660,833.94	6,767,687	54%
NET - FIRE DEPARTMENT		(3,527,639.96)	(600,959.69)	(2,319,332.57)	(5,011,723)	46%
Police & Fire Commission Department						
Physical Exams	01-5-225-6810	8,954.00	2,169.20	6,640.20	37,400	18%
Other Contractual Services	01-5-225-6890	10,701.63	872.50	11,655.50	12,250	95%
NET - POLICE & FIRE COMMISSION		(19,655.63)	3,041.70	(18,295.70)	(49,650)	37%

Community Development	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
Building Permits	01-4-230-4300	490,324.14	12,813.56	187,961.28	300,000	63%
Electric Permits	01-4-230-4310	79,267.21	900.00	11,924.39	36,000	33%
Electrician Certification Fees	01-4-230-4315	1,800.00	50.00	2,450.00	3,000	82%
Plumbing Permits	01-4-230-4320	16,562.17	422.50	7,584.70	17,000	45%
HVAC Permits	01-4-230-4330	36,230.90	0.00	3,065.89	18,000	17%
Plan Review Fees	01-4-230-4340	216,033.37	328.75	27,159.08	90,000	30%
Sidewalk/Lot Grading Fees	01-4-230-4350	36,737.20	300.00	12,816.00	20,000	64%
Insulation Permits	01-4-230-4360	12,080.00	0.00	617.50	9,000	7%
Fire Review Fees	01-4-230-4365	0.00	0.00	0.00	2,750	0%
Zoning Review Fee	01-4-230-4370	5,287.50	240.00	4,281.97	4,000	107%
Code Enforcement	01-4-230-4380	3,200.00	100.00	4,487.28	3,000	150%
Forced Mowings Reimb.	01-4-230-4385	232.50	668.75	1,783.75	0	0%
Other Permits	01-4-230-4390	6,480.00	245.00	5,920.00	4,000	148%
Miscellaneous	01-4-230-4900	472.00	0.00	114.00	100	114%
Expense Reimbursement	01-4-230-4940	3,584.31	0.00	712.57	3,000	24%
Planning Fees	01-4-230-4950	23,349.25	400.00	2,300.00	20,000	12%
Planning Miscellaneous	01-4-230-4955	0.00	85.00	815.00	1,000	82%
Building Department - Revenues		931,640.55	16,553.56	273,993.41	530,850	52%
Salaries- Regular - FT	01-5-230-5010	267,686.62	20,587.62	159,751.76	285,662	56%
FICA	01-5-230-5079	19,641.19	1,509.10	11,735.15	21,853	54%
IMRF	01-5-230-5120	15,664.88	868.56	6,506.01	17,121	38%
Health Ins Expense	01-5-230-5130	57,671.62	8,983.03	30,994.77	81,709	38%
Dental Insurance	01-5-230-5131	2,168.80	0.00	1,962.40	4,000	49%
Unemployment	01-5-230-5136	0.00	0.00	0.00	0	0%
Training	01-5-230-5152	1,270.08	0.00	0.00	2,000	0%
Building Dept Personnel & Benefits Expense		364,103.19	31,948.31	210,950.09	412,345	51%
Repair/Maint - Equip	01-5-230-6020	2,783.74	198.53	1,192.20	3,300	36%
Repair/Maint - Vehicles	01-5-230-6030	1,606.35	0.00	1,046.70	3,000	35%
Other Professional Services	01-5-230-6190	36,251.64	3,090.41	32,132.87	73,335	44%
Telephone	01-5-230-6200	1,666.96	122.51	742.14	1,700	44%
Postage	01-5-230-6210	5,201.94	0.00	1,608.02	6,000	27%
Printing & Publishing	01-5-230-6220	4,443.80	120.00	580.00	3,000	19%
Other Contractual Services	01-5-230-6890	0.00	0.00	0.00	6,150	0%
Building Department - Contractual Expenses		51,954.43	3,531.45	37,301.93	96,485	39%
Office Supplies	01-5-230-7020	5,719.90	147.26	1,943.16	5,000	39%
Gas & Oil	01-5-230-7030	1,838.88	122.44	1,277.38	2,500	51%
Miscellaneous Expense	01-5-230-7900	1,487.66	0.00	72.81	1,000	7%
Operating Transfer Out	01-5-230-9999	0.00	0.00	0.00	0	0%
Building Department - Supplies Expenses		9,046.44	269.70	3,293.35	8,500	39%
Total Building Department Expenses		425,104.06	35,749.46	251,545.37	517,330	49%
NET - BUILDING DEPARTMENT		506,536.49	(19,195.90)	22,448.04	13,520	166%
Civil Defense Department						
RE Tax - Civil Defense	01-4-240-4010	7,027.91	189.73	7,037.06	7,000	101%
Miscellaneous Revenues	01-4-240-4900	0.00	0.00	0.00	0	0%
Miscellaneous Expense	01-5-240-7900	0.00	0.00	6,223.00	6,800	92%
NET - CIVIL DEFENSE DEPARTMENT		7,027.91	70,742.30	814.06	200	9%

Street Department	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
RE Tax - Road & Bridge	01-4-310-4010	340,586.34	9,695.31	360,361.14	320,000	113%
Grants	01-4-310-4150	0.00	0.00	0.00	0	0%
Sidewalk/Driveway/Lot Grading	01-4-310-4350	0.00	0.00	0.00	0	0%
Miscellaneous Revenues	01-4-310-4900	7,118.54	256.67	3,435.74	5,000	69%
Expense Reimbursement	01-4-310-4940	38,775.36	500.00	155,211.24	15,000	1035%
Expense Reimbursement	01-5-310-4940	0.00	(1,332.00)	(1,332.00)	0	0%
Sale of Assets	01-4-310-4950	0.00	0.00	0.00	0	0%
Intergovernmental Revenue	01-4-310-4960	0.00	0.00	0.00	0	0%
Street Department - Revenues		386,480.24	9,119.98	517,676.12	340,000	152%
Salaries - Regular - FT	01-5-310-5010	713,714.43	58,723.08	436,889.82	763,453	57%
Overtime	01-5-310-5040	60,235.25	3,488.85	41,571.21	55,000	76%
Health Insurance	01-5-310-5130	232,540.16	22,219.73	155,683.43	281,272	55%
Uniform Allowance	01-5-310-5140	18,273.37	2,876.72	9,628.17	16,700	58%
Training	01-5-310-5152	1,091.58	0.00	0.00	1,500	0%
Street Dept - Personnel & Benefits Expenses		1,025,854.79	87,308.38	643,772.63	1,117,925	58%
Repair/Maint - Storm Drain	01-5-310-6001	20,983.49	6,261.52	24,231.48	30,000	81%
Repair/Maint - St/Parking Lot	01-5-310-6002	125,758.84	7,891.20	79,083.99	100,000	79%
Repair/Maint - Sidewalk/Curb	01-5-310-6003	94,070.35	(720.18)	27,112.59	40,000	68%
Repair/Maint - Building	01-5-310-6010	17,133.15	3,191.87	6,209.95	12,000	52%
Repair/Maint - Equipment	01-5-310-6020	142,623.71	26,720.91	118,231.45	140,000	84%
Repair/Maint - Traffic Signal	01-5-310-6024	25,692.03	3,269.78	5,421.56	32,500	17%
Telephone/Utilities	01-5-310-6200	9,586.71	864.08	5,202.73	9,200	57%
Leaf Clean-up/Removal	01-5-310-6826	973.00	657.50	657.50	12,000	5%
Street Department - Contractual Expenses		436,821.28	48,136.68	266,151.25	375,700	71%
Office Supplies	01-5-310-7020	5,880.80	1,192.47	5,323.59	6,000	89%
Gas & Oil	01-5-310-7030	84,954.94	8,062.59	42,006.49	80,000	53%
Operating Supplies	01-5-310-7040	28,032.72	2,901.32	31,634.76	30,000	105%
Miscellaneous Expense	01-5-310-7900	2,371.79	145.00	950.00	62,000	2%
Street Department - Supplies Expenses		121,240.25	12,301.38	79,914.84	178,000	45%
Equipment	01-5-310-8200	0.00	0.00	0.00	0	0%
Total Street Department Expenses		1,583,916.32	147,746.44	989,838.72	1,671,625	59%
NET - STREET DEPARTMENT		(1,197,436.08)	(138,626.46)	(472,162.60)	(1,331,625)	35%
Street Lighting						
RE Tax - Street Lighting	01-4-330-4010	210,183.38	5,670.51	210,294.06	210,000	100%
Expense Reimbursement	01-5-330-4940	0.00	0.00	0.00	0	0%
Repair/ Maint - Street Light	01-5-330-6022	18,954.50	7,110.07	17,547.37	10,000	175%
Street Lighting - Electricity	01-5-330-6310	250,636.33	22,695.81	133,431.82	273,490	49%
NET - STREET LIGHTING		(59,407.45)	(24,135.37)	59,314.87	(73,490)	-81%

Landfill Department	Account #	Actual FY 23	Month of November	YTD Actual for FY 24	Budget FY 24	58% of Budget
RE Tax - Refuse/Landfill	01-4-335-4010	50,048.18	1,350.46	50,081.98	50,000	100%
Miscellaneous Revenue	01-4-335-4900	0.00	0.00	0.00	0	0%
Miscellaneous Expenses	01-5-335-7900	54,217.00	4,260.00	4,260.00	54,500	8%
NET - GARBAGE DEPARTMENT		(4,168.82)	(2,909.54)	45,821.98	(4,500)	-1018%
Forestry Department						
RE Tax - Forestry	01-4-340-4010	40,062.49	1,080.55	40,073.98	40,000	100%
Other Fees	01-4-340-4490	0.00	0.00	0.00	0	0%
Miscellaneous	01-4-340-4900	0.00	0.00	0.00	0	0%
Forestry Department Revenues		40,062.49	1,080.55	40,073.98	40,000	100%
Repair/ Maint - Other	01-5-340-6090	0.00	0.00	0.00	0	0%
Tree Removal or Purchase	01-5-340-6850	53,490.50	607.83	28,035.83	43,000	65%
Miscellaneous Expense	01-5-340-7900	0.00	0.00	0.00	0	0%
Forestry Department Expenses		53,490.50	607.83	28,035.83	43,000	65%
NET - FORESTRY DEPARTMENT		(13,428.01)	472.72	12,038.15	(3,000)	0%
Engineering Department						
Engineering	01-5-360-6140	7,658.00	7,460.50	9,646.13	27,000	36%
Subdivision Expense	01-5-360-6824	27,415.00	0.00	22,945.00	10,000	229%
Office Supplies	01-5-360-7020	7,149.71	661.15	5,106.87	7,500	68%
Gas & Oil	01-5-360-7030	0.00	0.00	0.00	0	0%
NET - ENGINEERING DEPARTMENT		(42,222.71)	(8,121.65)	(37,698.00)	(44,500)	85%
Health / Social Services						
Council on Aging	01-5-410-6830	0.00	0.00	0.00	0	#DIV/0!
Demolition / Nuisance	01-5-410-6832	3,228.75	0.00	3,398.75	4,500	76%
NET - HEALTH / SOCIAL SERVICES		(3,228.75)	0.00	(3,398.75)	(4,500)	76%
Economic Development						
Planning Dept Services	01-5-610-6150	1,880.00	320.00	1,160.00	3,360	35%
Economic / Business	01-5-610-6840	80,430.00	3,000.00	64,000.00	87,462	73%
Tourism	01-5-610-6842	0.00	0.00	0.00	0	#DIV/0!
Historic Preservation	01-5-610-6844	4,425.81	341.00	3,410.35	4,550	75%
NET - ECONOMIC DEVELOPMENT		(86,735.81)	(3,661.00)	(68,570.35)	(95,372)	72%
Buchanan Street Strolls						
Strolls Vendor Fee	01-4-615-4490	0.00	0.00	0.00	0	#DIV/0!
Strolls Sponsors	01-4-615-4495	0.00	0.00	0.00	0	#DIV/0!
Strolls Miscellaneous	01-4-615-4900	0.00	0.00	0.00	0	#DIV/0!
STROLLS REVENUE		0.00	0.00	0.00	0	#DIV/0!
Buchanan Strolls Entertainment	01-5-615-6190	0.00	0.00	0.00	0	#DIV/0!
Buchanan Strolls Supplies	01-5-615-7040	0.00	0.00	0.00	0	#DIV/0!
Buchanan Strolls Misc.	01-5-615-7900	0.00	0.00	0.00	0	#DIV/0!
STROLLS EXPENSES		0.00	0.00	0.00	0	#DIV/0!
NET - BUCHANAN STREET STROLLS		0.00	0.00	0.00	0	#DIV/0!
Utility Tax Dept.						
Utility Tax - Electric	01-4-751-4131	1,011,810.07	66,287.21	544,795.84	1,100,000	50%
Utility Tax - Gas	01-4-751-4132	1,296,411.73	35,308.35	285,720.18	925,000	31%
Utility Tax - Telephone	01-4-751-4133	141,769.92	11,339.78	80,470.41	135,000	60%
Grants	01-4-751-4150	0.00	0.00	0.00	0	0%
Expense Reimbursement	01-4-751-4940	0.00	0.00	0.00	0	0%
Tripp Rd. Reconstruction	01-5-751-8056	0.00	0.00	0.00	0	0%
Southside Stormsewer Study	01-5-751-8058	0.00	0.00	0.00	0	0%
Bellwood Detention Basin	01-5-751-8060	0.00	0.00	0.00	0	0%
Poplar Grove/ Lawrenceville Int	01-5-751-8062	0.00	0.00	0.00	0	0%
		2,449,991.72	112,935.34	910,986.43	2,160,000	42%
TOTAL GENERAL FUND REVENUES		27,640,773.81	2,972,746.96	21,528,338.95	24,803,392	87%
TOTAL GENERAL FUND EXPENSES		20,608,948.25	2,735,509.60	14,212,061.58	22,998,730	62%
NET REV OVER (UNDER) EXP		7,031,825.56	237,237.36	7,316,277.37	1,804,663	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of November, 2023

Water / Sewer General Administration

Line Item	Account #	Actual FY 23	Month of November	Actual FY 24	Budget FY 24	58% of Budget
Beginning Cash & Investments		75,632		76,901.00	75,632	
Interest Income-sweep acct	61-4-110-4600	0	0.00	0.00	200	
Miscellaneous Revenues	61-4-110-4900	1,269	0.00	0.00	0	
Operating Transfer Out	61-5-110-9999	0	0.00	0.00	0	
Ending Cash		76,901	0.00	76,901.00	75,832	

Water Department

Line Item	Account #	Actual FY 23	Month of November	Actual FY 24	Budget FY 24	58% of Budget
Beginning Cash & Investments		220,437		273,187.92	258,350	
Grants	61-4-810-4150	0	0.00	0.00	0	#DIV/0!
Water Consumption	61-4-810-4500	1,943,871	269,181.81	1,186,306.00	2,020,285	59%
Dep on Agr - Westhill	61-4-810-4521	31,738	0.00	12,185.00	10,000	0%
Meters Sold	61-4-810-4530	159,337	29,115.95	58,527.45	97,250	60%
Other Services	61-4-810-4590	3,397	361.00	2,237.00	3,000	75%
W/S Interest	61-4-810-4600	133	23.90	138.11	200	69%
Miscellaneous Revenues	61-4-810-4900	50	0.00	7,983.44	0	0%
Expense Reimbursement	61-4-810-4940	500	0.00	4,509.94	0	0%
Sale of Assets	61-4-810-4950	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-810-9998	0	0.00	0.00	0	0%
Total Water Department Revenues		2,139,026	298,682.66	1,271,886.94	2,130,735	60%
Salaries - Regular - FT	61-5-810-5010	557,086	39,793.20	349,723.61	604,665	58%
Overtime	61-5-810-5040	59,607	4,541.10	16,951.92	35,000	48%
FICA Water	61-5-810-5079	43,500	3,423.15	26,065.45	48,916	53%
IMRF	61-5-810-5120	40,295	2,176.82	16,750.48	38,323	44%
Group Health Insurance	61-5-810-5130	211,134	15,497.56	114,353.40	192,524	59%
Uniform Allowance	61-5-810-5140	7,856	1,434.93	5,463.48	12,525	44%
Rep& Maint-Infrastructure	61-5-810-6000	128,858	0.00	47,769.41	74,000	65%
Rep& Maint - Buildings	61-5-810-6010	12,236	4,100.12	9,639.47	16,000	60%
Rep& Maint - Equipment	61-5-810-6020	54,961	7,960.50	30,757.81	35,000	88%
Rep& Maint - Vehicles	61-5-810-6030	12,927	433.58	6,066.15	20,000	30%
Rep& Maint - Contractual	61-5-810-6040	87,283	18,164.29	47,962.56	80,000	60%
Other Professional Serv	61-5-810-6190	7,318	1,300.20	9,276.32	10,000	93%
Telephone	61-5-810-6200	5,935	450.63	3,029.59	10,000	30%
Postage	61-5-810-6210	24,040	0.00	10,898.89	18,000	61%
Utilities	61-5-810-6300	134,570	23,482.16	158,601.32	200,000	79%
Office Equip Rental/Maint	61-5-810-6410	25,309	989.26	6,592.40	33,000	20%
Liability Insurance	61-5-810-6800	114,568	116,293.96	116,293.96	118,450	98%
Lab Expense	61-5-810-6812	17,036	7,130.11	14,881.67	47,000	32%
Office Supplies	61-5-810-7020	26,450	(9,100.84)	10,097.42	10,000	101%
Gas & Oil	61-5-810-7030	24,801	4,837.28	15,898.81	25,000	64%
Operating Supplies	61-5-810-7040	82,019	22,852.64	73,569.73	67,000	110%
Chemicals	61-5-810-7050	105,842	18,055.05	84,853.53	120,000	71%
Meters	61-5-810-7060	100,821	11,541.74	63,035.82	20,000	315%
Bad Debt Expense	61-5-810-7850	822	0.00	353.18	2,000	18%
Miscellaneous Expense	61-5-810-7900	7,112	2,970.40	5,047.86	4,000	126%
Disaster Relief	61-5-810-7905	0	0.00	0.00	0	#DIV/0!
Equipment	61-5-810-8200	0	0.00	0.00	0	0%
Transfer Out	61-5-810-9999	0	0.00	0.00	0	0%
Depreciation Set Aside		295,000	23,750.00	166,250.00	285,000	58%
Bond Pmt Set Aside		0	0.00	0.00	0	0%
Total Water Department Expenses		2,187,386	322,077.84	1,410,184.24	2,126,403	66%
NET WATER DEPARTMENT		(48,360)	(23,395.18)	(138,297.30)	4,332	
Change in Accounts Receivable (YTD)		(4,390)		(4,390.37)		
Ending Cash & Investments		220,437	(23,395.18)	130,500.25	262,682	

CASH FLOW STATEMENT FOR WATER / SEWER FUND as of November, 2023

Sewer Department

Line Item	Account #	Actual FY 23	Month of November	Actual FY 24	Budget FY 24	58% of Budget
Beginning Cash & Investments		649,934		555,395.78	400,598	
Grants	61-4-820-4150	0	0.00	0.00	0	0%
Sewer Consumption	61-4-820-4500	2,656,966	236,831.10	1,818,086.76	2,489,404	73%
Dep on Agr - Westhills	61-4-820-4521	13,946	0.00	6,565.00	10,000	0%
Meters Sold	61-4-820-4530	158,854	8,750.00	38,161.50	97,250	39%
Other Services	61-4-820-4590	40,214	4,346.80	30,216.20	53,000	57%
WWT Interest	61-4-820-4600	10,145	752.71	8,856.31	0	#DIV/0!
Miscellaneous Revenues	61-4-820-4900	18,914	0.00	8,768.00	0	0%
Expense Reimbursement	61-4-820-4940	0	0.00	16,264.42	0	0%
Operating Transfers-In	61-4-820-9998	0	0.00	0.00	0	0%
Total Sewer Department Revenues		2,899,039	250,680.61	1,926,918.19	2,649,654	73%
Salaries - Regular - FT	61-5-820-5010	633,645	76,816.63	419,597.53	686,691	61%
Overtime	61-5-820-5040	58,146	(16,827.80)	53,023.01	55,000	96%
FICA WWTP	61-5-820-5079	51,860	4,580.81	33,167.97	56,712	58%
IMRF	61-5-820-5120	48,042	2,945.46	21,325.74	44,430	48%
Group Health Insurance	61-5-820-5130	213,508	22,560.46	150,375.70	242,263	62%
Dental Claims	61-5-820-5131	0	0.00	0.00	0	#DIV/0!
Uniform Allowance	61-5-820-5140	18,513	2,218.00	10,767.67	20,600	52%
Travel	61-5-820-5151	0	0.00	0.00	0	#DIV/0!
Rep & Maint - Infrastruc.	61-5-820-6000	0	0.00	0.00	0	#DIV/0!
Rep & Maint - Lift Stations	61-5-820-6005	24,979	2,494.27	75,600.53	25,000	302%
Rep & Maint - Buildings	61-5-820-6010	83,944	32,184.04	78,899.67	90,000	88%
Rep & Maint - Equipment	61-5-820-6020	57,682	8,871.99	95,151.30	0	#DIV/0!
Rep & Maint - Vehicles	61-5-820-6030	11,137	881.68	1,915.69	28,000	7%
Rep & Maint - Contractual	61-5-820-6040	30,056	12,946.01	37,969.60	50,000	76%
Other Professional Serv	61-5-820-6190	66,213	17,223.44	70,774.75	73,500	96%
NARP Watershed	61-5-820-6195	34,232	0.00	17,116.00	18,000	95%
Telephone	61-5-820-6200	7,577	1,034.66	4,469.00	12,200	37%
Postage	61-5-820-6210	14,781	0.00	9,191.99	17,000	54%
Utilities	61-5-820-6300	173,119	25,218.84	132,479.13	200,000	66%
Office Equip Rental/Maint	61-5-820-6410	7,460	517.99	4,791.68	9,000	53%
Liability Insurance	61-5-820-6800	136,049	138,099.07	138,099.07	140,000	99%
Lab Expense	61-5-820-6812	51,713	9,502.81	42,795.01	50,000	86%
Sludge Disposal	61-5-820-6814	16,893	1,057.89	14,620.31	15,000	97%
Maintenance Supplies	61-5-820-7010	313	66.15	274.49	0	#DIV/0!
Office Supplies	61-5-820-7020	26,416	(9,015.46)	9,499.82	12,000	79%
Gas & Oil	61-5-820-7030	20,776	723.50	8,819.80	25,000	35%
Operating Supplies	61-5-820-7040	27,093	4,635.70	15,961.11	20,000	80%
Chemicals	61-5-820-7050	105,922	0.00	39,858.80	58,000	69%
Meters	61-5-820-7060	100,821	14,819.22	66,313.30	20,000	332%
Bad Debt Expense	61-5-820-7850	1,053	0.00	404.80	2,000	20%
Miscellaneous Expenses	61-5-820-7900	2,909	176.97	898.29	2,000	45%
Disaster Relief	61-5-820-7905	0	0.00	0.00	0	#DIV/0!
Equipment	61-5-820-8200	0	0.00	0.00	0	0%
Operating Transfer Out	61-5-820-9999	0	0.00	0.00	0	0%
Depreciation Set Aside		255,000	21,250.00	148,750.00	255,000	58%
Bond Pmt Set Aside		123,000	10,250.00	71,750.00	123,000	58%
		2,402,852	385,232.33	1,774,661.76	2,350,396	76%

Sewer Department

Collection System Expenses

Salaries - Regular - FT	61-5-830-5010	369,618	27,480.64	200,067.86	375,223	53%
Overtime	61-5-830-5040	42,033	4,407.98	21,209.12	30,000	71%
FICA Sewer	61-5-830-5079	31,491	2,437.32	17,351.31	31,000	56%
IMRF	61-5-830-5120	29,024	1,565.72	11,146.94	24,286	46%
Group Health Insurance	61-5-830-5130	134,440	17,644.10	94,478.70	140,629	67%
Uniform Allowance	61-5-830-5140	6,306	554.30	9,790.80	6,600	148%
Rep & Maint - Infrastructure	61-5-830-6000	15,914	0.00	8,765.00	35,000	25%
Rep & Maint - Equipment	61-5-830-6020	12,857	0.00	1,387.01	14,000	10%
Rep & Maint - Vehicles	61-5-830-6030	7,677	0.00	3,440.36	20,000	17%
Telephone	61-5-830-6200	2,758	212.97	1,362.22	0	#DIV/0!
Office Equip Rent/Maint	61-5-830-6410	16,518	257.78	259.53	30,000	1%
Gas & Oil	61-5-830-7030	11,227	1,131.20	6,347.42	12,000	53%
Operating Supplies	61-5-830-7040	55,327	1,413.39	32,407.62	23,000	141%

Sewer Department

	Account #	Actual FY 23	Month of November	Actual FY 24	Budget FY 24	58% of Budget
Misc. Expense	61-5-830-7900	3,083	217.99	678.61	1,500	45%
Equipment	61-5-830-8200	0	0.00	0.00	0	0%
Total Sewer Department Expenses		3,138,055	442,555.72	2,183,354.26	3,093,634	71%
NET SEWER DEPARTMENT		(90,135)	(191,875.11)	(256,436.07)	(443,980)	
Change in Accounts Receivable		(4,403)		(4,402.85)	0.00	
Ending Cash & Investments		555,396		294,556.86	(43,382)	

Bond Reserves (necessary per bond ordinances) - was 06-15

Beginning Cash & Investments	39,451		41,741.72	39,451	
Additional reserves	0	0.00	0.00	0	0%
Interest Income	2,291	269.88	1,915.65	0	0%
Transfer Out: Bond Payment	0	0.00	0.00	0	0%
Ending Cash & Investments	41,742	269.88	43,657.37	39,451	

Connection Fees (plant expansion) / Deposits on Agreement (system extensions) Accounting - was 05-10

Beginning Cash & Investments	2,882,401		3,184,126.54	3,669,140		
Sources						
Interest Income	20,288	2,403.17	17,058.47	12,000	142%	
Connection Fees	61-4-810-4510	151,508	0.00	15,896.00	50,000	32%
Deposits on Agreement	61-4-810-4520	3,345	0.00	281,978.20	2,000	14099%
Connection Fees	61-4-820-4510	306,257	0.00	35,280.00	65,000	54%
Deposits on Agreement	61-4-820-4520	3,891	0.00	2,851.00	2,000	143%
Connection Fee Set-Aside		0	0.00	0.00	0	0%
TOTAL Sources	485,289	2,403.17	353,063.67	131,000	270%	
Uses						
Construction in Progress - Water (1790)	9,320	1,800.00	753,194.14	0	0%	
Construction in Progress - Sewer (1790)	78,737	27,382.05	216,859.63	0	0%	
Equipment & Vehicles (1750)	95,506	0.00	0.00	0	0%	
Recapture Refunds	0	0.00	0.00	0	0%	
Land (1710)	0	0.00	0.00	0	0%	
Loan to Depreciation Fund	0	0.00	0.00	0	0%	
TOTAL Uses	183,563	29,182	970,053.77	0	0%	
Ending Cash & Investments	3,184,127		2,567,136.44	3,800,140		

Line Item	Account #	Actual FY 23	Month of November	Actual FY 24	Budget FY 24	58% of Budget
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Depreciation Funding - was 04-09 and 06-08

Beginning Cash & Investments		1,418,567		1,974,570.37	(148,156)	
Sources						
Interest Income		16,394	1,942.51	13,788.53	10,200	135%
Loan Funds		0	0.00	0.00	0	0%
Grant		0	0.00	0.00	0	0%
Miscellaneous		0	0.00	0.00	0	0%
Depreciation set aside - Water (for Plant)		295,000	23,750.00	166,250.00	285,000	58%
Depreciation set aside - Water (for System)		0	0.00	0.00	0	0%
Depreciation set aside - Sewer (for System)		255,000	21,250.00	148,750.00	255,000	58%
Depreciation set aside - Sewer (for Repl)		0	0.00	0.00	0	0%
Loan From Connection Fees		0	0.00	0.00	0	0%
TOTAL Sources		566,394	46,942.51	328,788.53	550,200	60%
Uses						
Construction in Progress - Water (1790)		56,224	14,154.01	319,725.56	0	#DIV/0!
Construction in Progress - Sewer (1790)		0	0.00	0.00	1,400,000	0%
Equipment & Vehicles (1750 & 1760)		0	195,903.00	292,108.00	325,000	90%
Buildings		0	0.00	0.00	0	0%
Transfer Out - Connection Fees Loan Payn		0	0.00	0.00	0	0%
Transfer Out- City Hall Roof		0	0.00	0.00	0	0%
TOTAL Uses		56,224	210,057.01	611,833.56	1,725,000	35%
Ending Cash & Investments		1,928,737		1,691,525.34	(1,322,956)	

Bond Payments Accounting - was 06-10 and 06-13

Beginning Cash & Investments		58,419		121,865.14	58,943	
Sources						
Interest Income		2,322	327.21	2,322.65	300	774%
Bond Proceeds	61-4-110-4901	0	0.00	0.00	0	0%
Operating Transfers-In	61-4-110-9998	0	0.00	0.00	0	0%
Bond Pmt Set Aside		123,000	10,250.00	71,750.00	123,000	58%
TOTAL Sources		125,322	10,577.21	74,072.65	123,300	60%
Uses						
Debt Service - Principal	61-5-110-8910	54,624	0.00	164,910.06	110,279	150%
Interest Expense	61-5-110-8920	7,251	0.00	20,717.43	13,472	154%
Fiscal Charges	61-5-110-8930	0	0.00	0.00	0	0%
Bond Issuance Costs	61-5-110-9031	0	0.00	0.00	0	0%
TOTAL Uses		61,876	0.00	185,627.49	123,751	150%
Ending Cash & Investments		121,865		10,310.30	58,492	

City of Belvidere's CD INVESTMENTS AS OF :

11/30/23

Fund #	Where	Dated	Maturity	Rate	Amount	Term	Interest Due	Maturity Value	
01									
General									
Fund									
Acct#									
01-1150	Byron Bank	11/3/23	11/3/24	0.53%	23130	1,106,782.88	366	5,826.53	1,112,609.41
	Stillman Bank	12/5/23	12/5/24	0.52%	6301548	1,037,451.72	366	5,409.53	1,042,861.25
	Byron Bank	11/18/23	11/18/24	0.53%	25320	1,156,125.93	366	6,086.29	1,162,212.22
	Byron Bank	5/19/23	3/20/24	0.44%	25954	1,012,475.30	306	3,692.34	1,016,167.64
	Stillman Bank	10/5/23	10/5/24	0.53%	25634	1,038,091.99	366	5,516.96	1,043,608.95
ARPA	Stillman Bank	8/29/23	2/29/24	0.53%	6301259	942,523.58	184	2,494.46	945,018.04
General Fund Total						<u>6,293,451.40</u>		21,014.69	
MFT									
Fund	Byron	3/30/23	2/28/24	0.30%	25930	503,380.05	335	1,386.02	504,766.07
Acct #									
10-1150									
61									
Water	Byron	5/9/23	3/10/24	0.44%	25952	920,119.15	306	3,355.54	923,474.69
Sewer	Byron	11/30/23	11/30/24	0.53%	23707	412,602.36	366	2,172.10	414,774.46
Acct#	Stillman Bank	8/29/22	8/29/24	0.32%	6300240	1,056,528.41	731	6,665.25	1,063,193.66
61-1150									
Water/Sewer Total						<u>2,389,249.92</u>		12,192.88	
Total						<u>9,186,081.37</u>		33,207.57	

Midland States Bank	0.00
Blackhawk	0.00
First National Bank	0.00
Stillman Bank	4,074,595.70
Byron Bank	<u>5,111,485.67</u>
	9,186,081.37

Blackhawk Money Markets (2.75%)	13,361,073.34
Midland States Bank Sweep Accts (4.2%)	3,270,144.65
IMET (Illinois Metropolitan Investment Fund)	2,463,113.04
Illinois Funds	6,519,674.07

City of Belvidere
Committee of the Whole
Building, Planning, Zoning and Public Works
Minutes

Date: December 11, 2023

Convened in the Belvidere Council Chambers, 401 Whitney Blvd., Belvidere, Illinois at 6:00p.m.

Call to Order – Mayor Clinton Morris.

Roll Call:

Present: J. Albertini, R. Brereton, M. Fleury, W. Frank,
M. Freeman, S. Gramkowski, M. McGee, N. Mulhall and
D. Snow.

Absent: None.

Other staff members in attendance:

Community Development Planner Gina DelRose, Director of Buildings Kip Countryman, Public Works Director Brent Anderson, Budget and Finance Officer Shannon Hansen, Fire Chief Shawn Schadle, Police Chief Shane Woody, City Attorney Mike Drella and City Clerk Sarah Turnipseed.

Public Comment: Ald. Matt Fleury proponent of motion made November 27, 2023, to increase Tax Levy by 17.33%.

Ald. Marsha Freeman proponent of motion made on November 27, 2023, to increase Tax Levy by 17.33%.

Mayor Clinton Morris opponent of motion made on November 27, 2023, to increase Tax Levy by 17.33%.

Public Forum: None.

Reports of Officers, Boards and Special Committees:

1. Building, Planning & Zoning, Unfinished Business: None.
2. Building, Planning & Zoning, New Business:
 - (A) Building Department - Update.

Director of Buildings Kip Countryman presented an update.

(B) Planning & Zoning Department - Update.

Community Development Planner Gina DelRose presented an update.

3. Public Works, Unfinished Business: None.

4. Public Works, New Business:

(A) Public Works Department – Update.

Public Works Director Brent Anderson presented an update.

(B) End Loader Replacement – WWTP.

Motion by Ald. Gramkowski, 2nd by Ald. Frank to purchase a 2023 John Deere 624P end-loader from West Side Tractor Sales, in the amount of \$242,600.00. The end loader will be paid for from Depreciation Line Item #61-1790. Aye voice vote carried. Motion carried.

(C) Purchase of Salt Spreader – Street Department Truck #2019.

Motion by Ald. Snow, 2nd by Ald. McGee to purchase a 2.5-yard capacity salt spreader from Automotive Solutions, in the amount of \$7,900.00, to be installed on Street Department Truck #2019. The Salt Spreader will be paid for from Capital Line Item #41-5-752-8200. Aye voice vote carried. Nays: None. Motion carried.

5. Other:

(A) Appointment of Sandra Stevens as Alderperson for Ward 1.

Motion by Ald. Snow, 2nd by Ald. Gramkowski to consent to the appointment of Sandra Stevens as Alderperson of the 1st Ward to fill the vacancy created by the resignation of Alderperson Porter for the remainder of the term. Discussion took place concerning appointment. Roll Call Vote: 5/4 in favor. Ayes: Albertini, Fleury, Freeman, Mulhall and Snow. Nays: Brereton, Frank, Gramkowski and McGee. Motion carried.

6. Adjournment:

Motion by Ald. Snow 2nd by Ald. Fleury to adjourn at 6:39p.m. Aye voice vote carried.
Motion carried.

_____ Mayor

Attest: _____ City Clerk

Ordinance No. 651H

TAX LEVY ORDINANCE

An ordinance levying taxes for all corporate purposes for the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.

BE IT ORDAINED by the Mayor and the City Council of the City of Belvidere, Boone County, Illinois:

Section 1: That a tax for the following sums of money, or as much thereof as may be authorized by law to defray all expenses and liabilities of the City of Belvidere, be and the same is hereby levied for the purposes specified against all taxable property in the City of Belvidere for the year 2024.

Section 2: That Attachment "A" to this ordinance shall be considered as part of this ordinance as if entirely written within this ordinance and the attachment contains the amount levied for each object or purpose under the heading "Amounts to be Raised by Tax Levy".

Section 3: The following is a summary of the total taxes to be levied:

<u>Levy Description</u>		<u>Amount</u>
Corporate Purpose	(65 ILCS 5/8-3-1)	1,731,385
Fire Protection	(65 ILCS 5/11-7-1)	20,000
Police Protection	(65 ILCS 5/11-1-3)	20,000
Audit	(65 ILCS 5/8-8-8)	45,390
Special Road & Bridge	(65 ILCS 5/11-81-1 & 2)	129,221
Street Lighting	(65 ILCS 5/11-80-5)	271,733
Public Benefit	(65 ILCS 5/9-2-39 & 49)	40,000
Pension (IMRF)	(40 ILCS 5/7-171)	119,758
Pension (Firefighters)	(40 ILCS 5/4-118)	1,313,890
Pension (Police)	(40 ILCS 5/3-125)	1,639,633
Refuse (Landfill/Recycling)	(65 ILCS 5/11-19-4)	54,217
Liability Insurance	(745 ILCS 10/9-107)	470,305
Tort	(745 ILCS 10/9-107)	75,000
Emergency Service & Disaster	(65 ILCS 5/8-3-16)	7,000
FICA & Medicare	(65 ILCS 5/21-110)	235,689
Forestry	(65 ILCS 5/11-73-1)	53,491
TOTAL for City		6,226,712
Library	(75 ILCS 5/3-1 & 4)	812,100
TOTAL LEVY		7,038,812

Section 4: The City Clerk shall make and file with the County Clerk of Boone County, a duly certified copy of this ordinance and that the amount levied by the attachment to this ordinance is required by the City of Belvidere and extended upon the appropriate tax books for the fiscal year of the City of Belvidere beginning May 1, 2023, and ending April 30, 2024.

Section 5: If any section, subdivision, sentence, clause, or part of the attachment to this ordinance is for any reason held invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 6: This ordinance shall be in full force and effect immediately upon its passage and approval as provided by law.

Passed by the Council of the City of Belvidere, Illinois, at a regular meeting thereof held on the 18th day of December, 2023, and approved by me as Mayor on the same day.

AYES: _____

NAYS: _____

Clinton Morris, Mayor

ATTEST: _____
Sarah Turnipseed, City Clerk

Attachment A (Levy Ordinance #651)

	Account #	FY 24	Amounts to be received from other sources	Amounts to be Raised by Tax Levy
Salaries - Elected Officials	01-5-110-5000	215,889		
Salaries - Regular - FT	01-5-110-5010	262,211		75,000
Group Health Insurance	01-5-110-5130	518,316		350,000
Health Ins Claims Paid	01-5-110-5131	30,000		
Group Life Insurance	01-5-110-5132	1,377		
Health Insurance Reimbursement	01-4-110-4540	(144,861)		
Memberships, Mtgs & Conferences	01-5-110-5154	31,655		
Subscriptions/Ed Materials	01-5-110-5156	-		
Gen Admin Personnel & Benefit Expenses		914,587	489,587	425,000
Repairs/Maint - Bldgs	01-5-110-6010	29,600		
Repairs/Maint - Equip	01-5-110-6020	5,000		
Legal	01-5-110-6110	46,250		10,000
Other Professional Services	01-5-110-6190	92,000		
Telephone	01-5-110-6200	21,250		0
Codification	01-5-110-6225	6,200		
Other Communications	01-5-110-6290	2,250		
Gen Admin Contractual Expenses		202,550	192,550	10,000
Office Supplies	01-5-110-7020	122,334		
Gas and Oil	01-5-110-7030	460,000		
Other Supplies	01-5-110-7800	3,100		
Gen Admin Supplies Expenses		585,434	585,434	0
Miscellaneous Expense	01-5-110-7900	33,150	31,150	2,000
Operating Transfers Out	01-5-110-9999	1,461,085	1,461,085	
		1,494,235	1,492,235	2,000
Total General Administration Expenses		3,196,806	2,759,806	437,000
General Fund - Audit Department				
Accounting & Auditing	01-5-130-6100	50,000		45,390
TOTAL - AUDIT DEPARTMENT		50,000	4,610	45,390
General Fund - IMRF Department				
IMRF Premium Expense	01-5-140-5120	100,394		119,758
TOTAL - IMRF DEPARTMENT		100,394	(19,364)	119,758
General Fund - Social Security Department				
FICA Expense	01-5-150-5110	240,393		235,689
Medicare Expense	01-5-150-5112	151,975		
TOTAL - SOCIAL SECURITY DEPT		392,368	156,679	235,689
General Fund - Liability Insurance Dept				
Insurance Premium	01-5-160-6800	484,430		470,305
TOTAL - LIABILITY INSURANCE DEPT		484,430	14,125	470,305

			Amounts to be received from other sources	Amounts to be Raised by Tax Levy
Police Department				
Salary - Regular - FT	01-5-210-5010	4,219,697		20,000
Overtime	01-5-210-5040	365,650		195,948
Police Pension	01-5-210-5122	1,572,765		1,639,633
Health Insurance	01-5-210-5130	1,099,983		335,687
Dental Claims	01-5-210-5131	52,000		
Uniform Allowance	01-5-210-5140	101,342		
Training	01-5-210-5152	132,780		
Police Dept Personnel & Benefit Expenses		7,544,217	5,352,949	2,191,268
Repair/Maint-Equipment	01-5-210-6020	31,510		
Repair/Maint-Vehicles	01-5-210-6030	89,850		70,000
Telephone/Utilities	01-5-210-6200	51,000		
Physical Exams	01-5-210-6810	11,840		
Community Policing	01-5-210-6816	10,000		
K 9 Program Expenses	01-5-210-6818	7,698		
Sex Offender State Disburse	01-5-210-6835	3,600		
Police Department - Contractual Expenses		205,498	135,498	70,000
Office Supplies	01-5-210-7020	8,550		
Gas & Oil	01-5-210-7030	127,000		
Operating Supplies	01-5-210-7040	46,025		
Miscellaneous Expense	01-5-210-7900	18,700		
DigiTicket Supplies	01-5-210-7902	3,000		
Police Department - Supplies Expense		203,275	203,275	0
Equipment	01-5-210-8200	45,320	45,320	
Vehicles	01-5-210-8300	0		
TOTAL POLICE DEPARTMENT		7,998,310	5,737,042	2,261,268
Public Safety Building Department				
Salaries - Regular - FT	01-5-215-5010	780,867		
Other (FICA & IMRF)	01-5-215-5079	123,455		
Other Contractual Services	01-5-215-6890	357,500		
TOTAL PUBLIC SAFETY DEPARTMENT		1,261,822	1,261,822	0
Fire Department				
Salaries - Regular - FT	01-5-220-5010	2,569,796		20,000
Overtime	01-5-220-5040	218,423		100,000
Fire Pension	01-5-220-5124	1,247,022		1,313,890
Health Insurance	01-5-220-5130	674,699		350,000
Dental Insurance	01-5-220-5131	30,000		
Uniform Allowance	01-5-220-5140	40,200		
Training	01-5-220-5152	23,939		
Fire Depart Personnel & Benefits Expenses		4,804,079	3,020,189	1,783,890
Repair/Maint-Bldg	01-5-220-6010	34,130		
Repair/Maint-Equipment	01-5-220-6020	17,050		
Repair/Maint-Vehicles	01-5-220-6030	49,000		30,000
Telephone/Utilities	01-5-220-6200	11,811		
Physical Exams	01-5-220-6810	1,000		
Fire Prevention	01-5-220-6822	7,830		
Emergency Med Supplies	01-5-220-6824	11,740		
Ambulance Services	01-5-220-7900	1,719,733		
Fire Department - Contractual Expenses		1,852,294	1,822,294	30,000
Office Supplies	01-5-220-7020	33,850		
Gas & Oil	01-5-220-7030	35,094		
Operating Supplies	01-5-220-7040	9,900		
Miscellaneous Expense	01-5-220-7900	0		
Fire Department - Supplies Expenses		78,844	78,844	0
Equipment	01-5-220-8200	32,470		
TOTAL FIRE DEPARTMENT		6,767,687	4,953,797	1,813,890

	Account #	FY 24	Amounts to be received from other sources	Amounts to be Raised by Tax Levy
Police & Fire Commission Department				
Physical Exams	01-5-225-6810	37,400		
Other Contractual Services	01-5-225-6890	12,250		
TOTAL - POLICE & FIRE COMMISSION		49,650	49,650	0
Community Development				
Salaries- Regular - FT	01-5-230-5010	285,662		
FICA	01-5-230-5079	21,853		
IMRF	01-5-230-5120	17,121		
Health Ins Expense	01-5-230-5130	81,709		
Dental Insurance	01-5-230-5131	4,000		
Training	01-5-230-5152	2,000		
Building Dept Personnel & Benefits Expense		412,345	412,345	0
Repair/Maint - Equip	01-5-230-6020	3,300		
Repair/Maint - Vehicles	01-5-230-6030	3,000		0
Other Professional Services	01-5-230-6190	73,335		
Telephone	01-5-230-6200	1,700		
Postage	01-5-230-6210	6,000		
Printing & Publishing	01-5-230-6220	3,000		
Other Contractual Services	01-5-230-6890	6,150		
Building Department - Contractual Expenses		96,485	96,485	0
Office Supplies	01-5-230-7020	5,000		
Gas & Oil	01-5-230-7030	2,500		
Miscellaneous Expense	01-5-230-7900	1,000		
Operating Transfer Out	01-5-230-9999	-		
Building Department - Supplies Expenses		8,500	8,500	0
TOTAL BUILDING DEPARTMENT		517,330	517,330	0
Civil Defense Department				
Miscellaneous Expense	01-5-240-7900	6,800		7,000
TOTAL - CIVIL DEFENSE DEPARTMENT		6,800	(200)	7,000

Street Department	Account #	FY 24	Amounts to be received from other sources	Amounts to be Raised by Tax Levy
Salaries - Regular - FT	01-5-310-5010	763,453		132,750
Overtime	01-5-310-5040	55,000		
Health Insurance	01-5-310-5130	281,272		
Uniform Allowance	01-5-310-5140	16,700		
Training	01-5-310-5152	1,500		
Street Dept - Personnel & Benefits Expenses		1,117,926	985,176	132,750
Repair/Maint - Storm Drain	01-5-310-6001	30,000		
Repair/Maint - St/Parking Lot	01-5-310-6002	100,000		129,221
Repair/Maint - Sidewalk/Curb	01-5-310-6003	40,000		20,000
Repair/Maint - Building	01-5-310-6010	12,000		
Repair/Maint - Equipment	01-5-310-6020	140,000		80,000
Repair/Maint - Traffic Signal	01-5-310-6024	32,500		20,000
Telephone/Utilities	01-5-310-6200	9,200		
Leaf Clean-up/Removal	01-5-310-6826	12,000		
Street Department - Contractual Expenses		375,700	126,479	249,221
Office Supplies	01-5-310-7020	6,000		
Gas & Oil	01-5-310-7030	80,000		
Operating Supplies	01-5-310-7040	30,000		
Miscellaneous Expense	01-5-310-7900	62,000		
Street Department - Supplies Expenses		178,000	178,000	0
Equipment	01-5-310-8200	0		
TOTAL STREET DEPARTMENT		1,671,626	1,289,655	381,971
Street Lighting				
Repair/ Maint - Street Light	01-5-330-6022	10,000		
Street Lighting - Electricity	01-5-330-6310	273,490		271,733
TOTAL STREET LIGHTING		283,490	11,757	271,733
Garbage Department				
Miscellaneous Expenses	01-5-335-7900	54,500		54,217
TOTAL GARBAGE DEPARTMENT		54,500	283	54,217
Forestry Department				
Repair/ Maint - Other	01-5-340-6090	0		
Tree Removal or Purchase	01-5-340-6850	43,000		53,491
Miscellaneous Expense	01-5-340-7900	0		0
TOTAL FORESTRY DEPARTMENT		43,000	(10,491)	53,491

	Account #	FY 24	Amounts to be received from other sources	Amounts to be Raised by Tax Levy
Engineering Department				
Repair/ Maint - Vehicles	01-5-360-6030	0		
Engineering	01-5-360-6140	27,000		
Subdivision Expense	01-5-360-6824	10,000		
Office Supplies	01-5-360-7020	7,500		
Gas & Oil	01-5-360-7030	0		
TOTAL - ENGINEERING DEPARTMENT		44,500	44,500	0
Health / Social Services				
Council on Aging	01-5-410-6830	0		
Demolition / Nuisance	01-5-410-6832	4,500		
TOTAL - HEALTH / SOCIAL SERVICES		4,500	4,500	0
Economic Development				
Consulting	01-5-610-6120	0		
Planning Dept Services	01-5-610-6150	3,360		0
Economic / Business	01-5-610-6840	87,462		35,000
Tourism	01-5-610-6842	0		
Historic Preservation	01-5-610-6844	4,550		
TOTAL - ECONOMIC DEVELOPMENT		95,372	60,372	35,000
Buchanan Street Strolls				
Strolls Entertainment	01-5-615-6190	0		
Strolls Supplies	01-5-615-7040	0		
Strolls Miscellaneous	01-5-615-7900	0		
TOTAL - ECONOMIC DEVELOPMENT		0	0	0
Utility Tax				
Tripp Road Reconstruction	01-5-751-8056	0		
Southside Stormsewer Study	01-5-751-8058	0		
Bellwood Detention Basin	01-5-751-8060	0		
Poplar Grove / Lawrenceville	01-5-751-8062	0		
TOTAL - Utility Tax		0	0	0

TOTAL GENERAL FUND EXPENSES 23,022,583 16,835,871 6,186,712

REF: General Corporate Tax	(65 ILCS Para 5/8-3-1)	1,731,385
REF: Municipal Audit Tax	(65 ILCS Para 5/8-8-8)	45,390
REF: Police Protection Tax	(65 ILCS Para 5/11-1-3)	20,000
REF: Police Pension	(40 ILCS Para 5/3-125)	1,639,633
REF: Fire Protection Tax	(65 ILCS Para 5/11-7-1)	20,000
REF: Fire Pension	(40 ILCS Para 5/4-118)	1,313,890
REF: Street Lighting Tax	(65 ILCS Para 5/11-80-5)	271,733
REF: Street & Bridge Tax	(65 ILCS Para 5/11-81-1 & 2)	129,221
REF: Tort Judgements (legal)	(745 ILCS Para 10/9-107)	75,000
REF: Unemployment Insurance	(745 ILCS Para 10/9-107)	0
REF: Liability Insurance	(745 ILCS Para 10/9-107)	470,305
REF: Forestry Program Tax	(65 ILCS Para 5/11-73-1)	53,491
REF: Garbage Tax	(65 ILCS Para 5/11-19-4)	54,217
REF: Social Security Tax	(65 ILCS Para 5/21-110)	235,689
REF: Illinois Muni Retirement Fund	(40 ILCS Para 5/7-171)	119,758
REF: Emergency Services & Disaster Operations	(65 ILCS Para 5/8-3-16)	7,000
		6,186,712

	FY 24	Amounts to be received from other sources	Amounts to be Raised by Tax Levy	
Library Operations (18)				
Total Expenditures	896,250	84,150	812,100	
REF: Library Tax	(75 ILCS Para(s) 5/3-1 & 4)			812,100
Capital Projects Fund (41)				
Total Expenditures	3,005,560	2,965,560	40,000	
REF: Public Benefit Tax	(65 ILCS Para(s) 5/9-2-39 &49)			40,000
Other Funds				
	Fund #			
Water / Sewer Fund	61	5,223,867	5,223,867	0
Motor Fuel Tax	10	1,344,000	1,344,000	0
Escrow / Land Cash	91	0	0	0
Kishwaukee II	15	0	0	0
Special Serv Area #2 & #3	16/17	22,700	22,700	0
Kishwaukee River TIF	13	4,000	4,000	0
Police Pension Fund		1,639,633	1,639,633	0
Firefighters' Pension Fund		1,313,890	1,313,890	0
TOTAL EXPENDITURES		36,472,483	29,433,671	7,038,812

Ordinance No. 652H

TAX LEVY ORDINANCE

An ordinance making a levy and providing for a Special Service Area #2 tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.

BE IT ORDAINED by the Mayor and the City Council of the City of Belvidere, Boone County, Illinois:

Section 1: That there is hereby levied for the City of Belvidere, Illinois, for the Special Service Area #2 a tax not to exceed 0.12% of the full, fair cash value of all taxable property within the Special Service Area #2, as assessed and equalized pursuant to the statute for the current year.

Section 2: That the City Clerk of the City of Belvidere shall file with the County Clerk of Boone County, Illinois a certified copy of the ordinance.

Section 3: That this ordinance shall be in full force and effect from and after its passage and approval according to law.

Passed by the Council of the City of Belvidere, Illinois, this 18th day of December, 2023 and approved by me as Mayor on December 19, 2023.

AYES:

NAYS:

Clinton Morris, Mayor

ATTEST: _____
Sarah Turnipseed, City Clerk

Ordinance No. 653H

TAX LEVY ORDINANCE

An ordinance making a levy and providing for a Special Service Area #3 tax in the City of Belvidere, Boone County, Illinois for the fiscal year beginning May 1, 2023 and ending April 30, 2024.

BE IT ORDAINED by the Mayor and the City Council of the City of Belvidere, Boone County, Illinois:

Section 1: That there is hereby levied for the City of Belvidere, Illinois, for the Special Service Area #3 a tax not to exceed 0.12% of the full, fair cash value of all taxable property within the Special Service Area #3, as assessed and equalized pursuant to the statute for the current year.

Section 2: That the City Clerk of the City of Belvidere shall file with the County Clerk of Boone County, Illinois a certified copy of the ordinance.

Section 3: That this ordinance shall be in full force and effect from and after its passage and approval according to law.

Passed by the Council of the City of Belvidere, Illinois, this 18th day of December, 2023 and approved by me as Mayor on December 19, 2023.

AYES:

NAYS:

Clinton Morris, Mayor

ATTEST: _____
Sarah Turnipseed, City Clerk

ORDINANCE #654H

AN ORDINANCE AUTHORIZING THE EXECUTION OF A
PRE-ANNEXATION AGREEMENT BETWEEN THE
CITY OF BELVIDERE AND ROCK ROAD COMPANIES, INC.
RELATING TO A QUARRY EAST OF IRENE ROAD
AND SOUTH OF GRAHAM ROAD
IN BOONE COUNTY ILLINOIS

WHEREAS, The City of Belvidere is authorized to enter into annexation agreements for properties that are both contiguous and non-contiguous to the City of Belvidere; and

WHEREAS, The City of Belvidere is a home rule unit of government pursuant to Article VII, Section 6(a) of the Illinois Constitution and, pursuant to the provisions of said Section 6 of Article VII, may exercise any power or perform any function pertaining to its government and affairs; and

WHEREAS, Rock Road Companies Inc. (the Current Owner(s)) are the legal owner(s) of record with respect to certain territory that is legally described in the Annexation Agreement (the Territory) which is attached to this Ordinance (the Annexation Agreement) and which is not currently contiguous to the City of Belvidere; and

WHEREAS, the Current Owner(s) are ready, willing and able to enter into the Annexation Agreement and to perform its obligations as required under the Annexation Agreement and this Ordinance; and

WHEREAS, the statutory procedures provided in Sections 11-15.1-1 et seq. of the Illinois Municipal Code, as amended, for the execution of said Annexation Agreement have been fully complied with; and

WHEREAS, it is in the best interest of the City of Belvidere, Boone County, Illinois, that the City enter into an Annexation Agreement pertaining to the annexation of the Territory.

NOW, THEREFORE, be it ordained by the City Council of the City of Belvidere, Boone County, Illinois, as follows:

Section 1: The foregoing recitals are incorporated herein by this reference.

Section 2: The Mayor is hereby authorized and directed to execute, and the City Clerk is directed to attest, the Annexation Agreement between the City of Belvidere and the Current Owners, a copy of which is attached hereto as Exhibit A and incorporated herein. The Clerk is directed to file and record this Ordinance and the Annexation Agreement, as required by statute.

- Section 3: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.
- Section 4: All prior ordinances or parts of ordinances to the extent that they are inconsistent with the provisions of this Ordinance, are hereby repealed.
- Section 5: This Ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as required by law.

Passed by the City Council of the City of Belvidere, Illinois this day of December 18, 2023

Approved:

Clinton Morris, Mayor

Attest:

Sarah Turnipseed, City Clerk

Ayes: ..

Nays:

Absent:

Date Passed:

Date Approved:

Date Published:

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ANNEXATION AGREEMENT

This Agreement is executed _____, 2023, by the City of Belvidere, Illinois, a municipal corporation of the State of Illinois (referred to as "the City"), and Rock Road Companies, Inc. a Wisconsin corporation authorized to do business in the State of Illinois (referred to as "Rock Road" or the "Owner").

WHEREAS, the Owner is the owner of certain real property (the Property), all of which is located in the unincorporated portion of Boone County, Illinois. The Property is legally described on Exhibit A to this Agreement, and the Property is shown on the Site Plan that is attached to this agreement as Exhibit B, both of which are incorporated herein by this reference; and

WHEREAS, in each instance in which the term the "Owner" is used in this agreement, it shall be deemed to refer to the Owner(s) and any person or firm then holding title to the Property, including the Owner and its successors in title to the Property; and

WHEREAS, Owner and the City (hereinafter collectively referred to as the "Parties" and individually referred to as "Party") desire to enter into this Agreement pursuant to the provisions of Section 11-15.1-1 Et Seq., of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 Et Seq.) in accordance with the terms and conditions set forth in this Agreement; and

WHEREAS, the City and Belvidere Stone LLC, Owner's predecessor in interest of the Property, previously entered into an annexation agreement executed November 21, 2005 (the 2005 Annexation Agreement); and

WHEREAS, Owner is an owner under the 2005 Annexation Agreement pursuant to State law and the 2005 Annexation Agreement; and

WHEREAS, the 2005 Annexation Agreement has a term of 20 years and is due to expire in 2025; and

WHEREAS, the City, and Owner wish to enter into a new annexation agreement that reflects the current condition of the Property; the future development and annexation of the property, and the development of the surrounding vicinity; and,

WHEREAS, all notices, publications, procedures, public hearings and other matters attendant to the consideration and approval of the execution of this Agreement have been given, made, held and performed by the City as required by Section 65 ILCS 5/7-1-8 and Section 65 ILCS 5/11-15.1-1 et seq. of the Illinois Municipal Code and all other applicable state statutes and all applicable ordinances, regulations and procedures of the City; and

WHEREAS, the City has determined that the annexation of the Property to the City on the terms and conditions set forth in this Agreement serves the best interests of the City, will extend the corporate limits and jurisdiction of the City, will permit orderly growth, planning and development

of the City, will increase the tax base of the City, and will promote and enhance the general welfare of the City; and

WHEREAS, the Property consists of two sections, one of which is presently used as a quarry, asphalt batch plant site, and concrete batch plant site, (the Quarry Section) and one of which is used as combination of quarry operations and unimproved farmland (the North Parcel). The Quarry Section and the North Section are shown on Exhibit B. Both Sections are currently zoned RH with a Planned Community Development by the City pursuant to 2005 Ordinance 769G and the 2005 Annexation Agreement. Owner desires to develop the Property to facilitate a limited expansion of the existing quarry and the development of other industrial, commercial, and open space uses; and

WHEREAS, the City desires to secure its future expansion and provide for the diversification in the development of the City to include job-producing and commercial development. The City has developed a Comprehensive Development Plan with the County of Boone and has determined this annexation is consistent with and furthers the development objectives of the Comprehensive Plan; and

WHEREAS, the Property is not currently contiguous to the City. Owner desires to annex the Property to the City at such time as the Property becomes contiguous to the City, and the City and Owner desire to enter into an annexation agreement pursuant to 65 ILCS 11-15.1-1 et seq., of the Illinois Municipal Code; and

WHEREAS, pursuant to the Code, the corporate authorities of the City have held the required public hearings upon this Annexation Agreement, have given notice of the date, time and place of each such hearing, and have observed all statutory requirements for the execution of this Annexation Agreement; and

WHEREAS, the corporate authorities of the City have considered the annexation of the Property at public hearings and have determined that it will be in the best interests of the City to annex the property to the City in accordance with the provisions of this Agreement, and

WHEREAS, in reliance upon the adoption by the City of the ordinances provided for in this Agreement, and upon the continued effectiveness of the other ordinances, codes, and regulations of the City and as amended in the future by ordinance of general applicability, as modified by or in accordance with this Agreement, the City and Owner is willing to execute this Agreement and to undertake the respective obligations set forth in this Agreement; and

WHEREAS, it is the desire of the City and Owner that the Property be subject to the ordinances, codes, and regulations of the City as modified by or in accordance with this Agreement, and further subject to the terms and conditions set forth in this Agreement.

THEREFORE, in consideration of the mutual promises and undertakings set forth in this Agreement, the City and Owner agree as follows:

1. **City Authority.** The City shall utilize whatever powers it may from time to time have to perform its obligations under this Agreement
2. **Incorporation:** The foregoing recitals and the Exhibits attached hereto are incorporated in this Agreement by this reference as if fully set forth in this Agreement.
3. **Annexation.** a) Upon the execution of this Agreement, Owner shall file, with the City Clerk, a Petition to Annex the Property, reasonably acceptable to the City. The City may rely upon the Petition to Annex to annex the Property, at such time as the Property becomes contiguous to the City during the term of this Agreement, to cause the Property to be annexed.

b) Further, at such time as the Property is contiguous to the City, the Owner(s) of the Property, or any subsequent owner of the Property, shall take all actions necessary to annex the Property to the City of Belvidere, including, but not limited to, execution of all documents (including executing an additional Petition to Annex if necessary) to facilitate. At that time, the City shall take all necessary actions to cause the Property to be annexed to the City in accordance with, and subject to the terms of this Agreement.

Until such time as the Property becomes contiguous and the Petition for Annexation, in accordance with the terms of this Pre-Annexation Agreement is filed, the Owner(s) agree to provide by virtue of Covenants, Conditions and Restrictions (CC&Rs) and/or Plat Designations and deed restriction, notice to all new Property Owners and their successors in interest of the pending and intended Petition to annex, and shall notify all future owners of this Annexation Agreement. Further, each such deed or other instrument conveying any portion of the Property to a third party shall contain a deed restriction requiring future owners of that parcel to execute a Petition to Annex to the City of Belvidere at such time as the Property becomes contiguous to the City and to consent to such annexation.

c) Owner agrees to annex to the City any other property located in the area designated on Exhibit A and Exhibit B as the "Annexation Area" which it now owns or which it or any company controlled by or under common control with it may subsequently acquire during the term of this Agreement.

d) In the event, prior to annexation of the Property, the Property is surrounded and bounded by another municipality or municipalities such that the corporate boundary of the City cannot become contiguous to the Property with sufficient frontage for legal annexation, or the Property is otherwise physically prohibited from becoming contiguous to the City and annexation to the City is not legally possible, the City and the Owner shall each have the option to terminate this Agreement by notice to the other party as provided for otherwise in this Agreement. Notwithstanding any other provision or term of this Agreement, upon termination of this Agreement pursuant to this subparagraph 3d., all obligations from each party to the other shall

also terminate. Provided, however, that all sums paid by one party to the other and any obligations performed by one party for the benefit of the other shall be considered paid or performed, as the case may be, and shall not be considered recoverable by the obligated party. The Owner may not exercise its right to terminate this Agreement pursuant to this paragraph 3 c) earlier than twelve (12) years from the date of the execution of this Agreement

4. **Zoning.** Pursuant to The 2005 Annexation Agreement, authorized by ordinance 771G, and section 11-15.1-2.1 of the Illinois Municipal Code (65 ILCS 5/11-15.1-2.1), the Property was zoned Rural Holding (RH) upon execution of the 2005 Annexation Agreement. The Parties agree that the RH zoning shall remain the base zoning under this Agreement and after annexation. Upon the execution of this Agreement, the existing Planned Development (PD) approved by ordinance 769G shall continue in effect. After execution of this Agreement, the City agrees to adopt a new PD allowing for mineral extraction, asphalt batch plant operations and concrete batch plant operations pursuant to the conditions set forth in Exhibit D. The new PD ordinance shall supersede Ordinance 769G unless otherwise provided. The zoning designation assigned to the Property shall permit the extraction of limestone materials and sand and gravel from the Property and the operation of a concrete and/or asphalt batch plant.

Upon annexation, Owner(s) agree(s) that the Property will continue to be zoned as RH District classification pursuant to the Belvidere Municipal Code. The Property may be re-zoned in accordance with this Agreement. Owner shall apply for a Planned Development to allow development, mineral extraction in the quarry areas, and asphalt and concrete batch production. All further and future development of the Property shall be pursuant to a Planned Development Ordinance. Further, Owner(s) agree(s) that the following conditions and covenants shall apply to the Property and shall be made a part of all final plats and run with the land.

No sexually-oriented business will operate on the Property, including but not limited to, adult arcades, bookstores, video stores, cabarets, motels, motion picture theaters, theaters, etc.

5. **Signage.** Owner(s) shall not erect, construct or allow another to erect or construct any sign of any nature at any location on the Property, except as permitted by the Belvidere Municipal Code, provided, however, that the Owner may keep the current sign at the quarry entrance for the duration of the period of mining and batch plant production activity on the Property.
6. **Plats of Subdivision.** Except as otherwise set forth herein, Owner(s) agrees that all construction on the Property will be in accordance with the Belvidere Municipal Code and all adopted ordinances, including but not limited to, the City's Building Codes, Subdivision Codes and Zoning Codes, as amended and in effect at the time of issuance of building permit or other relevant permit and the approved Planned Development Ordinance. The Owner(s) shall be allowed to seek final plat approval

of the non-quarry areas of the Property in phases, provided each final plat complies with the approved Preliminary Plat. Approval of this Annexation Agreement shall not be construed or interpreted as an approval of either the Preliminary Plat or the Final Plat of Subdivision nor of any Planned Development. The Owner shall not be required to submit a preliminary or final subdivision plat for its mining and quarry or asphalt or concrete batch plant activities, but shall apply for a Planned Development in order to obtain the necessary deviation for mineral extraction, and asphalt and concrete batch plant operations.

The Owner(s) further agree(s) that no lot lines in the Plat of Subdivision will be within any one-hundred-year flood plain boundary, as determined by the most recent F.E.M.A. Flood Boundary and Floodway Map, as amended, and as authorized by the City of Belvidere. No structure or building shall be constructed within such one-hundred-year flood plain without specific written consent of the City. Owner(s) agree(s) that the Property will be developed as a Planned Development, as set forth in the City of Belvidere Municipal Code. Further, all development and use of the property shall be consistent with the City's Comprehensive Plan as adopted and as it may be amended in the future (so long as any amendment continues to allow mineral extraction and concrete and batch plant operations) Owner(s) agree(s) that, unless stated within this Agreement, this Agreement shall not be considered as approval of any Preliminary or Final Plat, Planned Development, or Site Plan for the areas designated on the Site Plan in Exhibit B as areas for Future Development. Further, Owner(s) agree(s) that, notwithstanding anything else in this Agreement and notwithstanding any prior approval of any Preliminary Plat, the City Council may deny any Final Plat or Planned Development approval if it determines that the proposed development would be contrary to the public health or safety.

Owner(s) shall construct and complete all Public Improvements required by this Agreement, those bonded and required by the City's subdivision control ordinance and any other public improvements, including, but not limited to, sidewalks, streets and sewer and water mains, within eighteen (18) months of approval of a Final Plat of subdivision or PD. At such time as Owner(s) believe(s) that all public improvements are ready to be dedicated to the City, or that portion of public improvements within any Final Plat, representatives of the City and Owner(s) shall meet and inspect the public improvements to be dedicated and shall create a punch list of those items to be completed or corrected prior to acceptance of the public improvements by the City. These punch list items shall be completed within sixty (60) days from the date of the inspection. If all public improvements are not completed within the eighteen-month period, or the punch list items are not completed to the City's satisfaction within sixty days of the inspection, the City may deny any future building permits for any property within the Annexed Property and/or withhold approval of any additional Final Plat until such time as the Public Improvements are completed and accepted by the City. This remedy is cumulative, in addition to, and distinct from any other remedy the City may have, including but

not limited to, remedies under any bond or letter of credit and the remedies contained in Section 14 of this Agreement.

7. **Drainage.** See Exhibit D, Section 1.9.
8. **Fees.** As a condition of this Agreement, Owner(s) agree(s) to pay and/or donate, or cause to be paid and/or donated cash contributions as set forth in this Agreement, including but not limited to, the Contributions set forth in Exhibit E: Impact Fees, and the Host Fee. Owner(s) agree(s) that the public entity receiving a cash payment and/or donation may use the cash and/or donation for any public purpose. Owner(s) further agree(s) that the cash payment and/or donation represents a voluntary payment, which is contractual in nature and is an agreed upon condition of annexation and this Agreement. Owner(s), its (their) successors and assigns waive any defenses with respect to these fees, and any other fees identified in this Agreement, and further agree(s) not to challenge these fees at a later date unless otherwise permitted by this Agreement. Owner(s) agree(s) that, while these fees are agreed to as a part of a contractual obligation to induce the City to execute this Agreement, the fees may also serve to offset the proposed development's impact on the applicable entity, that the impact is uniquely and directly attributable to the proposed development and that the amount of the payment is not less than the amount appropriate to set off the anticipated impact of the development. The donations set forth in Exhibit E shall only be required at such time as any portion of the Property is subdivided and/or developed (with respect to the subdivided/developed parcels).

Owner(s), and on behalf of its (their) successors and assigns, hereby irrevocably bind themselves to refrain from making any claim or demand, or to commence, cause or permit to be prosecuted any action in law or equity against any person or entity on account of any payment described in this Agreement.

9. **Legal, Engineering, and Planning Costs.** Owner agrees to reimburse the City for reasonable attorneys' fees, planning consultants, engineering consultant's fees and any other professional costs incurred by the City in connection with the annexation, Annexation Agreement, zoning, platting and development of the Property including, but not limited to the time of in-house staff. Similarly, Owner(s) agree(s) to pay the City's costs of enforcing this Agreement or any applicable zoning ordinance or other City ordinance or code with respect to the development of the Property and use as a quarry, asphalt and concrete batch plant facility, including but not limited to, the City's reasonable attorneys' fees, consultants' fees and other professional costs incurred in said enforcement.

10. **No Partnership:** The City does not, in any way or for any purpose, become a partner, employer, principal, agent or joint venturer of or with the Owner(s).
11. **Indemnification:** The Parties agree that the Owner(s) shall indemnify, defend and hold the City harmless from any damages, claims, or causes of action which are in any way related to their activities in developing the Property or use of the Property, excepting those negligent or intentional acts of the City. These indemnities are not intended, and shall not limit, modify or circumvent the Illinois Governmental Employee and Governmental Tort Immunities Act.
12. **Maintenance:**
 - a) Winter Maintenance. Until the streets in any platted phase of the Property are accepted by the City, the City shall have no obligation to keep them plowed of ice and snow. It is agreed that for any platted phase that shall be or is likely to be occupied, in whole or in part, between November 15 and April 30 of the following year, the Parties may enter into a sub-agreement by which the City, subject to availability of equipment and personnel, would be responsible for the removal of ice and snow within such phases. If the Parties do not enter into such a sub-agreement, the Owner(s) shall be responsible for the removal of ice and snow.
 - b) General Maintenance. Until the streets in any platted phase of the Property are dedicated to and accepted by the City, it shall be the responsibility of the Owner/Builder and/or Developer to regularly remove all rubbish, refuse, building materials, mud, soil and other debris from the streets, and leave the streets in a clean state, free of any such refuse, building materials, mud, soil or other debris, at the end of construction activities on each day. All property and premises shall be maintained in a clean, safe and sanitary condition free of the accumulation of any debris, rubbish, discarded building materials and other items. Building materials to be used in the construction of a building may be stored upon the lot upon which the building is to be erected. However, the building materials shall only be stored in a safe, clean and orderly manner. The Owner/Builder and/or Developer shall place the entire property, including but not limited to, any lot under construction in a safe, clean and orderly manner at the end of each construction day. If, in the City's discretion, the Developer, Owner and/or Builder fails to comply with this Section, the City may withhold future building permits, anywhere in the City, for the entity holding title to the property which is not in compliance and/or the City may issue a stop work order upon the property in question until such time as this Section is complied with. The remedies contained in this Section are in addition to and not exclusive of any other remedy the City may have under this Agreement or at law or in equity.
13. **Ordinances.** Upon execution, the Property shall be subject to this Agreement and all ordinances and codes of the City in accordance with 65 ILCS 5/11-115.1-2.1. The Owner shall abide by all ordinances, resolutions, regulations, policies and laws of the City in effect at the execution of this Agreement and as may be subsequently amended. During the term of this Agreement the City agrees that no subsequently

adopted ordinance shall apply to the Property which would further limit the use of the Property as a quarry or for the operation of an asphalt or concrete batch plant.

14. **Remedies.** Either party may enforce this Agreement by any action or proceeding at law or in equity and may exercise any remedy at law or in equity. The parties agree that any action relating to this Agreement shall be brought in the Circuit Court for the 17th Judicial Circuit, Boone County, Illinois, and both parties submit to jurisdiction and venue of those Courts.
15. **Costs, Expenses, and Fees.** Except as provided for in this Agreement, the Owner(s) shall pay the current annexation fees Authorized in the Belvidere Municipal Code to the City, which have been or shall be incurred as a result of the petitioner's request herein at time of filing Owner's petition for Annexation. Also, notwithstanding any provision of this Agreement to the contrary, prior to annexation, the Owner(s) shall pay to the City any amount due a fire protection district pursuant to 70 ILCS 705/20, as amended. Owner(s) shall pay the entire amount which may be due a fire protection district prior to annexation regardless of when the monies may actually become due to the fire protection district.
16. **Counterparts.** This agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument.
17. **Miscellaneous.**
 - a) If, because of any action or inaction of the Owner, the Property fails to be annexed to the City after becoming contiguous, the City shall have the right to immediately and without notice, disconnect the sanitary sewer service and the water service permitted under this Agreement. Owner(s), and on behalf of its (their) successors and assigns, agrees to refrain from making any claim or demand, or to commence, cause or permit to be prosecuted any action in law or equity against the City on account of disconnection pursuant to this section. Further, if the failure to annex is not the fault of the City, Owner(s) shall cease all development and construction activity as well as mining activity in the expanded area of the Quarry.
 - b) During the term of this Agreement, but prior to annexation of the Property, the Property shall lie in unincorporated Boone County, but pursuant to the terms of this Agreement and pursuant to the authority of the statute in such case made and provided in (65 ILCS 5/11-15.1-2.1), the City Zoning Ordinance, Subdivision Control Ordinance, and all other City Ordinances, codes and regulations shall govern the development and use of the Property the same as if the Property were within the corporate limits of the City of Belvidere.
 - c) Upon execution of this Agreement, and prior to annexation, the Owner shall execute any document necessary to cause the State of Illinois Department of Revenue to pay to the City any and all collected sales tax revenues that would be paid to the City, the same as if the Property were already annexed. In order to facilitate the collection of sales tax by the City for the sales of aggregate, asphalt and

concrete material produced on the Property the Owner shall maintain its sales and billing office on the Property consistent with the practice implemented by Owner under the 2005 Annexation Agreement. Further, the Property shall be subject to the City's utility taxes, currently collected by the State of Illinois, the same as property lying within the City.

d) The Parties agree that in the event 65 ILCS 5/11-15.1-2.1, which applies the City's ordinances and codes to the Property prior to annexation, is amended to not apply to non-contiguous properties or held not to include any portion of a municipality's codes or ordinances, including but not limited to zoning and building codes, all building, construction and development and mining in the Expansion Area shall be suspended until such time as the Property is annexed or other permissions are obtained to continue mining and batch plant operations. Upon the suspension of mining activities on the Property, the Owner's obligation to pay any and all fees and costs under this Agreement shall also be suspended until such time as the Owner is again able to continue mining the Property under the authority of the City. However, the remainder of this Agreement and Owner's obligation to annex upon contiguity to the City shall remain in full force and effect. In such event, the City agrees to use its best efforts to negotiate an intergovernmental agreement with Boone County or otherwise obtain some authorization from Boone County to allow the mining, asphalt batch plant, and concrete batch plant operations contemplated by this Agreement to occur and continue. Upon the resumption of Owner's mining and batch plant activities on the Property, the Owner shall resume payments to the City as set forth in this Agreement.

e) Owner agrees to pay for the costs of all inspections of the Property performed by the City or its agents, pursuant to City Codes and Ordinances or authorized under this Agreement.

f) Owner shall pay all applicable fees and charges as established by the City from time to time at the rate in effect at the time said fees and charges are due and payable, provided such fees and charges are originated under an ordinance or other action of general applicability.

g) During the term of this Agreement, and any extension thereof, Owner(s) shall conduct all operations in compliance with the statutes, rules and regulations of the State of Illinois, the United States of America, their departments, agencies and bureaus, including but not limited to, the Department of Mines and Minerals, the Illinois and federal Environmental Protection Agencies and specifically including the statutory requirements of the Surface-Mined Land Conservation and Reclamation Act. Where this Agreement or a local ordinance is more restrictive than applicable law or regulation and where the matter is not pre-empted by state or federal statute or regulation, the more restrictive provision of this Agreement or a local ordinance shall apply. Owner(s) agree(s) to provide any reports, filings, or other documents, in any form or format required by the State of Illinois or the United States of America, to the City upon request. Further, Owner(s) shall, within 10 days

of receipt, provide City a copy of all correspondence, reports, or any document of any kind in any format received from any department or agency of the United States of America or the State of Illinois, including but not limited to, any notice of a violation of any applicable rules, regulations, policies or any law whatsoever.

18. **Host Fee.** a) Except as otherwise provided for in this Agreement, upon the execution of this Agreement and for as long as the extraction, crushing, processing, or stockpiling of Aggregates, including any activities that are ancillary to these activities (collectively, the "Extraction Operations") are in operation on the Property, Owner(s) shall pay the City a Host Fee based on the total tonnage of Aggregates transported from the Property, provided, however, that no such fees shall be payable with respect to Aggregates which do not originate from the Property, such as stockpiles of Aggregates brought to the Property from other sites and subsequently transported from the Property. The Owner(s) shall maintain accurate records of all Aggregates that originate off the Property, and these records shall be available for inspection by City on request. The quantities of Aggregates brought to the Property from off-site shall be reported to the City in the Sales Reports. Further provided, that if the City's authority to permit mining on the Property shall cease or be suspended for any reason, the Owner's obligation to pay the Host Fee shall cease until such time as the City's authority is reinstated.

b) The Host Fee shall be Twenty-Three Cents (\$.23) per ton. All host Fees shall be paid monthly within twenty (20) days after the last day of the month to which the fee relates. The quantity of Aggregates transported from the Property shall be determined as Aggregates are removed and transported from the Property using the scale on the Property provided by the Owner(s). The scale used for the determination of quantities shall at all times be certified as accurate by the appropriate governmental agency and the City shall be entitled to inspect the inspection reports and calibrations of the scale upon request. On or before the fifteenth day of each month, the Owner(s) shall forward to the City monthly reports (the "Sales Reports") certified by the Owner(s) showing on a daily basis the quantity of Aggregates removed and transported from the Property during the preceding month.

c) As of each January 1 following the first full calendar year (January through December) after the effective date of this Agreement, the Host Fee shall be increased by the same percentage as the percentage increase for the preceding year in the CPI-U (All-Urban Consumer Price Index). If the CPI-U Price Index is no longer published, the City and the Owner(s) will designate a comparable index which shall then be used for determining the annual rate of adjustment to the Host Fee.

d) The Owner(s) shall keep complete and accurate books and records relating to the determination of the Host Fee to be paid under this agreement. Owner(s) shall deliver to the City monthly reports showing the quantity of aggregate products sold from the Property during the preceding month. The reports shall be originated and records maintained in a manner consistent with Generally Acceptable Accounting Practices. Owner(s) shall permit the City's designated representatives access to such books and records for inspection, audit, and photocopying during Owner's normal

business hours. To the extent legally permissible, the City shall maintain as confidential the information which it derives from the Owner's books and records, but shall be permitted to disclose such information to employees and consultants which the City, in its sole discretion, deems appropriate in order to monitor and ensure Owner's compliance with the terms and conditions of this agreement. In the event that any such inspection/audit reveals any underpayment of Host Fees, the Owner(s) shall within seven (7) days pay the City the amount(s) of such underpayment(s) plus interest at the rate of twelve per cent (12%) per annum on the underpayment from the date that the Host Fees were due, and shall reimburse the City for the costs and expenses of the inspection or audit, any costs and expenses related to collection of the delinquent amounts (if collection efforts must be initiated), and any legal, professional and technical fees incurred.

e) Notwithstanding any other provision of this agreement to the contrary, the total Host Fees payable in each full calendar year during which Extraction Operations are conducted on the Property shall not be less than Thirty-One Thousand Dollars (\$31,000.00). In the event that the Host Fees paid on a monthly basis during any year are less than the minimum amount specified in this paragraph, the deficiency shall be paid within thirty days after the last day of the year.

f) In the event that Aggregate generated from the Property is incorporated in other products, such as concrete or asphalt prior to being transported from the Property, the quantity of Aggregates on which Host Fees are payable shall be based on the weight of the Aggregates so incorporated in the other product and not on the total weight of the product into which they have been incorporated. All aggregate generated from the Property and incorporated in other products while on the property shall be weighed prior to incorporation.

19. **Road Improvements and Maintenance.** The Owner(s) shall be responsible for the repair or replacement of the asphalt surface and shoulder stone on Irene Road from the south line of the Property to the southerly line of U.S. Route 20. The Owner(s) shall make any repairs reasonably deemed necessary to Irene Road Access and attributable to Owner's or Owner's agents' or customers' use of the Irene Road Access, from time to time, by the City or the division of local government with maintenance jurisdiction over Irene Road. The determination of whether a necessary repair is attributable to Owner's or Owner's agents' or Owner's customers' use of Irene road shall lie with the reasonable determination of the local government with maintenance jurisdiction of Irene Road.

If it becomes necessary for Owner(s) to route trucks on Irene Road south of the south property line of the Property, Owner(s) agree(s) to provide a surety guarantee to the division of local government having jurisdiction over that part of Irene Road south of the Quarry that will be used by commercial trucks accessing the Property from the south and hauling aggregate, asphalt, or concrete produced by operations on the Property. If the configuration and capacity of Irene Road is upgraded and if the

commercial and industrial vehicle traffic using Irene Road substantially increases, Owner's share of the maintenance and replacement costs shall decrease proportionately.

20. **Participation In Development.** Upon execution of this Agreement, Owner shall dedicate to the City a 100' easement along the southern border of the Property for the construction, operation and maintenance of public utilities, including, but not limited to water and sewer. Owner further agrees to dedicate to the City of Belvidere, upon the City's request, any additional easements necessary to extend utility services including, but not limited to, electrical, natural gas, telecommunications, internet, water and sewer, to the Property and the surrounding area, provided these additional easements do not unreasonably impact then existing Mining Operations or Batch Plant operations.

21. **Agreement Runs With the Land.** In accordance with Section 11-15.1-4 of the Illinois Municipal Code, this Agreement shall be binding upon all successors in interest of the Property. Further, this agreement shall be deemed to be a covenant that runs with the land and is binding on the Owner's successors in title. Upon execution of this Agreement, Owner(s) shall record a copy of this Agreement with the Boone County Recorder's Office.

22. **Amendments.** This Agreement may be amended from time to time only by an instrument in writing executed by the City and the then Owner(s) of the Property.

23. **Binding Effect.** The Agreement shall be binding upon and inure to the benefit of the heirs, successors, and assigns of the City and Rock Road. The undertakings of Rock Road under this Agreement shall be appurtenant to the Property and shall be deemed to "run with the land."

24. **City Use of Property.**
 - a. Owner agrees that the City, including the City's Police Department, may use the certified truck weigh scale on the property, for no charge, from time to time. If the City uses the scale outside of regular operating hours, it shall notify the Owner of each instance of use. The City agrees to indemnify, defend and hold Owner harmless from any claim, liability or cause of action arising out of the City's use of the scale, excepting those claims, liabilities or causes of action resulting from the Owner's negligence or malfeasance.
 - b. Owner agrees the City's Police Department may use part of the Property for training purposes. In the event the City Police Department uses any part of the Property the City shall defend and indemnify the Owner against any and all claims, lawsuits, damage, environmental condition, injury, including without limitation any death, arising from the City Police Department's use of the Property. Moreover, the City Police Department shall coordinate its use of the Property so that the City Police Department's use shall not interfere or in any other way affect the Owner's use and quiet enjoyment of the Property. The City

shall execute any and all waivers and releases required by Owner or its insurance carrier.

25. Term.

This agreement shall be binding upon the parties and their respective successors and assigns for the term of forty years, commencing as of the date hereof, and for such further term as may hereinafter be authorized by statute or by ordinance of the City. The Parties acknowledge and agree that the forty-year term is in derogation of state law as applied to non-home rule units and that the forty-year term is being agreed upon pursuant to the City's powers as a home rule unit of government. In the event that a court of competent jurisdiction rules that the City lacks authority for a greater than twenty-year annexation agreement then the statutory term shall be applied.

26. Miscellaneous Provisions.

- a) The captions, titles and headings used in this Agreement are inserted as a matter of convenience and for reference and do not define, limit or describe any term, section, page, article or provision.
- b) This Agreement and any drawings or exhibits contain the entire agreement between the parties and replaces any prior verbal or written agreement between the parties, This Agreement, and any of the supporting documents incorporated by reference, many not be altered except by an instrument in writing executed by the parties.
- c) The failure of any party to exercise any right or remedy under this Agreement or in law shall not act as a waiver of any other right or remedy or impair that party's right to enforce the agreement at any time.
- d) If any word, term, phrase, sentence, paragraph, section or article is held to be invalid by a court of competent jurisdiction, that ruling shall not affect the validity or enforceability of any other word, term, phrase, sentence, paragraph, section or article.
- e) Except as specifically set forth in this Agreement, all notices, requests, approvals, communications and demands made between the parties shall be considered given when the communication is addressed to the parties as identified below and deposited with sufficient postage with the United States Postal Service for certified mail delivery, return receipt requested, or, deposited with a nationally recognized overnight carrier for overnight delivery with sufficient postage for delivery. Notice may also be conveyed by personal delivery to the receiving party's authorized representative as designated below or when transmitted by facsimile machine or other electronic mail with a confirming copy sent by United States Postal Service first class mail.

To the City of Belvidere:
City Clerk, City of Belvidere
Belvidere City Hall
401 Whitney Blvd,

Belvidere, Illinois 61008

With a copy to:

City Attorney, City of Belvidere
Belvidere City Hall
401 Whitney Blvd
Belvidere, Illinois 61008
mdrella@BelvidereIL.gov

To Rock Road Companies, Inc.:

Mr. Jacob Mrugacz, President,
Rock Road Companies, Inc.
301 W. B R Townline Road
Janesville, Wisconsin, 53545
jmrugacz@rockroads.com Rock Road

With a copy to:

Timothy Jagielski
JJA, LLC.
P. O. Box 382
Byron, Illinois 61010
815.985.5981
Tim.Jagielski@jjalawfirm.com

- f) All other regulations, statutes, and documents and exhibits referenced in this Agreement are incorporated by reference into this Agreement.
- g) Except where specifically noted and amended in this Agreement, this Agreement, its execution, interpretation, and enforcement shall be subject to the laws of the State of Illinois.

The City of Belvidere has executed this Agreement pursuant to the authority conferred upon the Mayor and Alderpersons of the City by the laws of the State of Illinois.

The Owner(s) and the City have executed this Agreement on the date set forth in the caption.

For: The City of Belvidere, Illinois, a municipal corporation

By: _____

Attest:

By: _____

For: Rock Road, Companies, Inc., a Wisconsin corporation.

By: _____

**EXHIBIT A
LEGAL DESCRIPTION**

LEGAL DESCRIPTION FOR PROPOSED ANNEXATION

Part of the West 1/2 of Section 9, Township 43 North, Range 3 East of the Third Principal Meridian, bounded and described as follows: Beginning at a point on the east line of the Northwest 1/4 of said Section 9 which bears South 00 degrees 03 minutes 50 seconds East, 610.76 feet from the northeast corner of said Northwest 1/4, said point being the southeast corner of premises conveyed by Rockford Blacktop Construction Company to Joseph and Tracy A. Taylor by Warranty Deed dated July 15, 2002 and recorded as Document No. 02 R07932 in the Recorder's Office of Boone County, Illinois; thence South 00 degrees 03 minutes 50 seconds East, along the east line of the West 1/2 of said Section 9, a distance of 2989.17 feet to the south line of the north 58 acres of the Southwest 1/4 of said Section 9; thence South 89 degrees 24 minutes 12 second West, along said line and said line extended west, 2701.86 feet to the west right-of-way line for Irene Road, said line being 25 feet west of the west line of the West 1/2 of said Section 9; thence North 00 degrees 06 minutes 40 seconds West, along said line, 943.94 feet; thence North 00 degrees 06 minutes 22 seconds West, along said line, 2682.18 feet to the westerly extension of the north right-of-way line for Graham Road, said line being 33 feet north of the north line of the Northwest 1/4 of said Section 9; thence North 89 degrees 15 minutes 35 seconds East, along said westerly extension and along said right-of-way line, a distance of 2327.69 feet to the northerly extension of the west line of premises conveyed to Joseph and Tracy A. Taylor, as aforesaid; thence South 00 degrees 03 minutes 50 seconds East, along said northerly extension and along said line, a distance of 643.76 feet to the south line of said premises; thence North 89 degrees 15 minutes 35 seconds East, along said line, 377.00 feet to the point of beginning. Situated in the County of Boone, State of Illinois and containing 219.66 acres.

Plat of Annexation

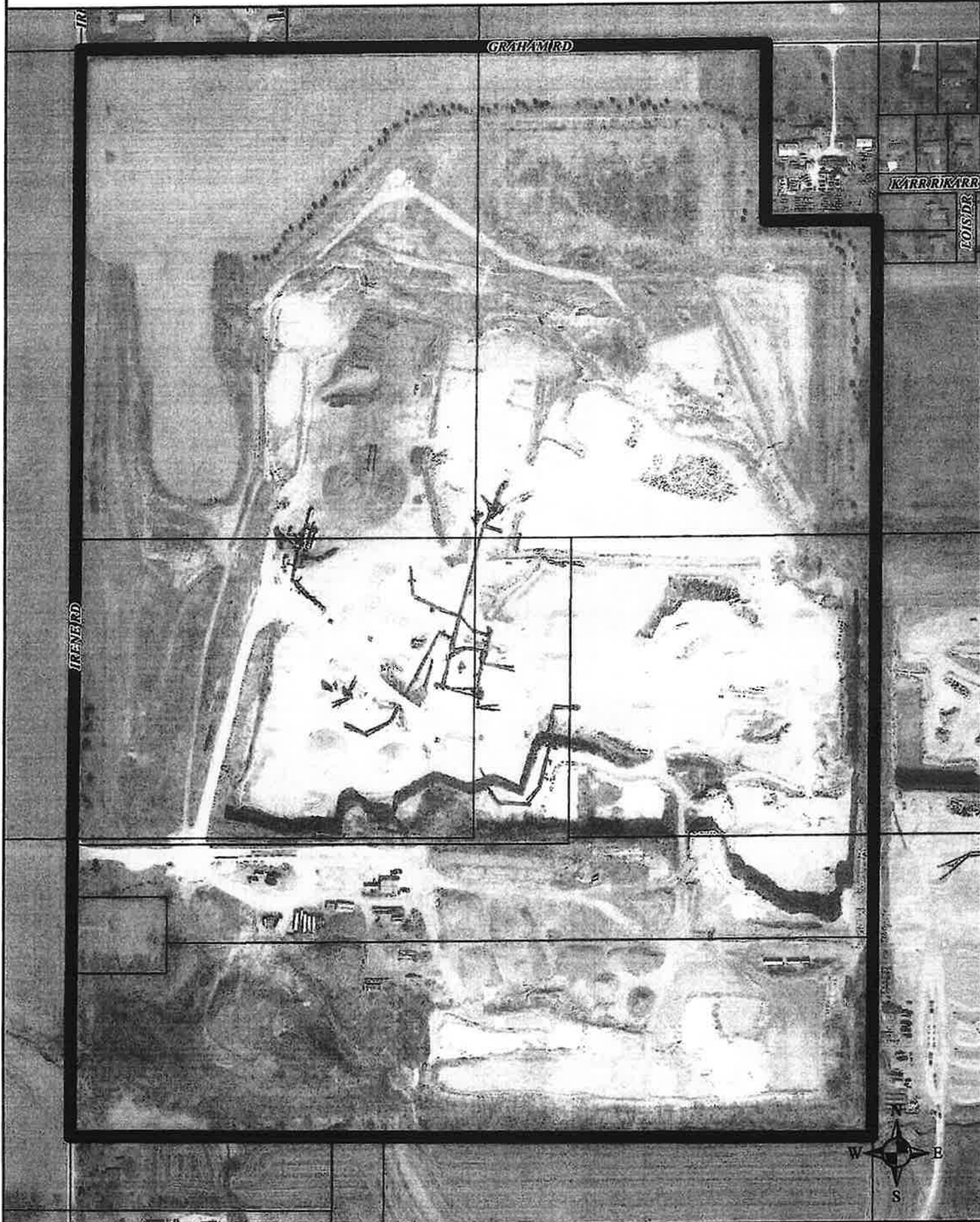
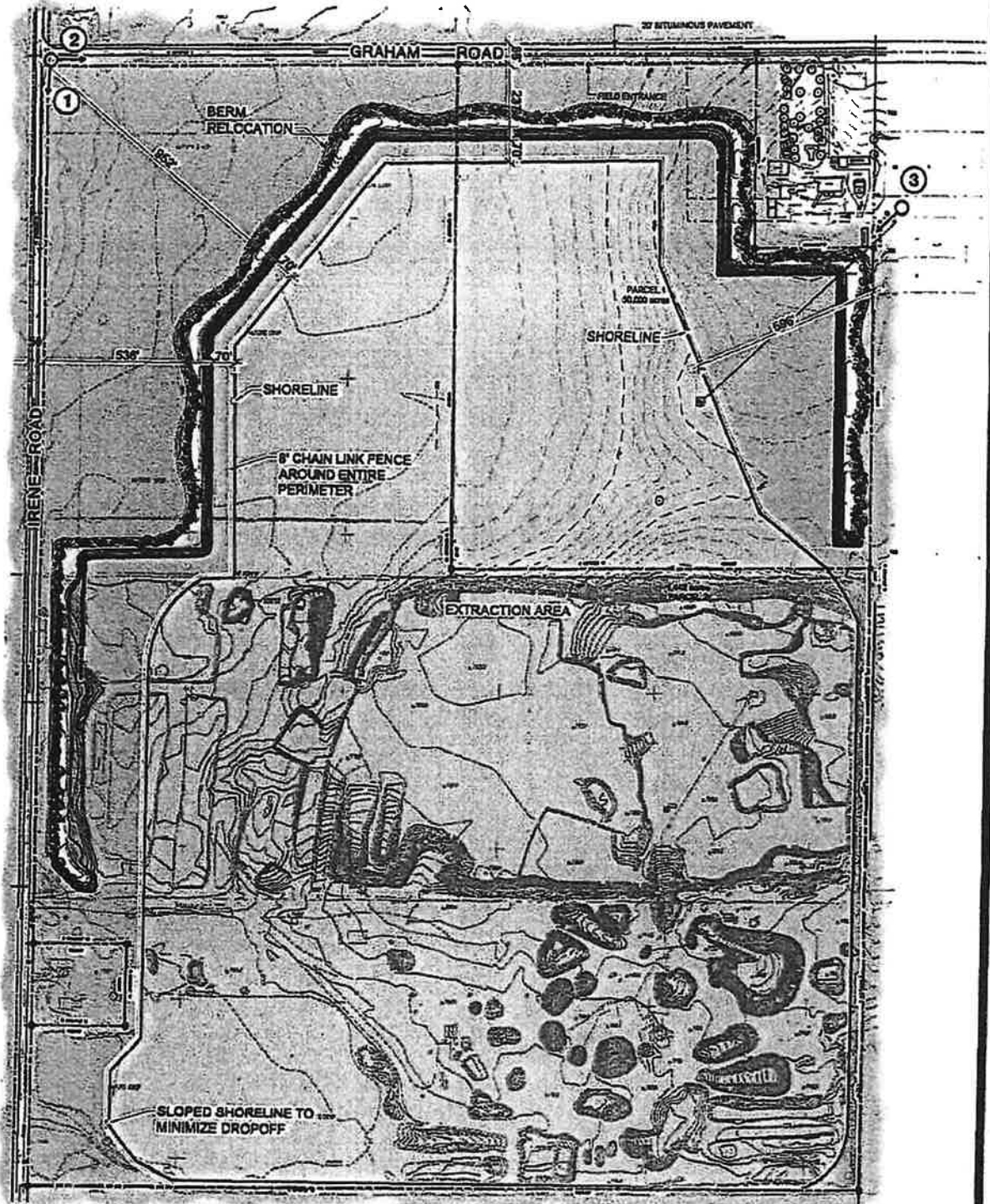


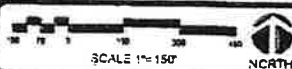
EXHIBIT B
SITE PLAN

IRENE QUARRY

BELVIDERE, ILLINOIS



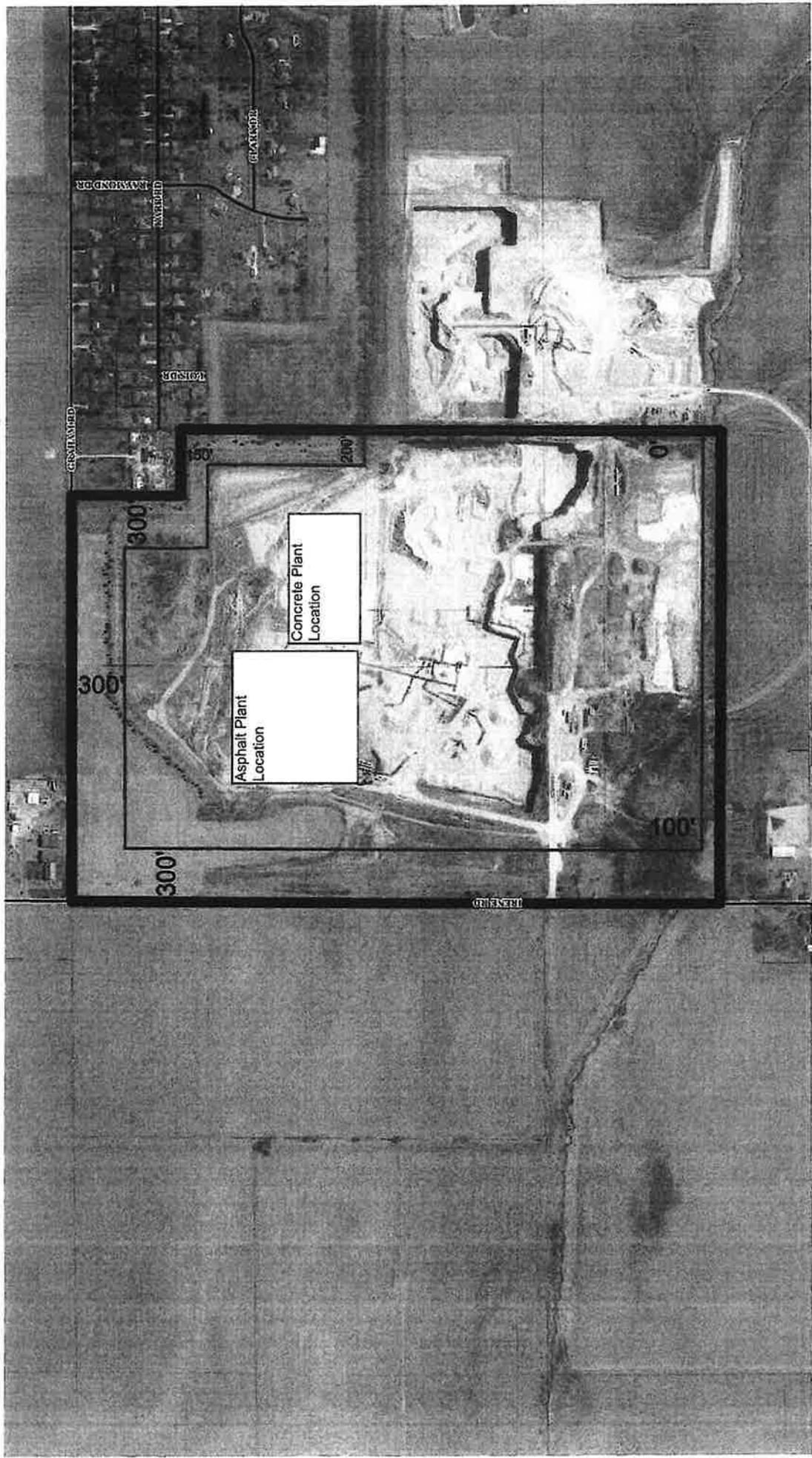
OPERATIONAL LANDSCAPE PLAN



Lannert Group © 2010 The Lannert Group, Inc.
 Landscape Architecture • Planning • Community Consulting
 (800) 208-6088
 Fax (800) 328-8092
 www.lannertgroup.com
 215 Fulton Street
 Geneva, Illinois 60134

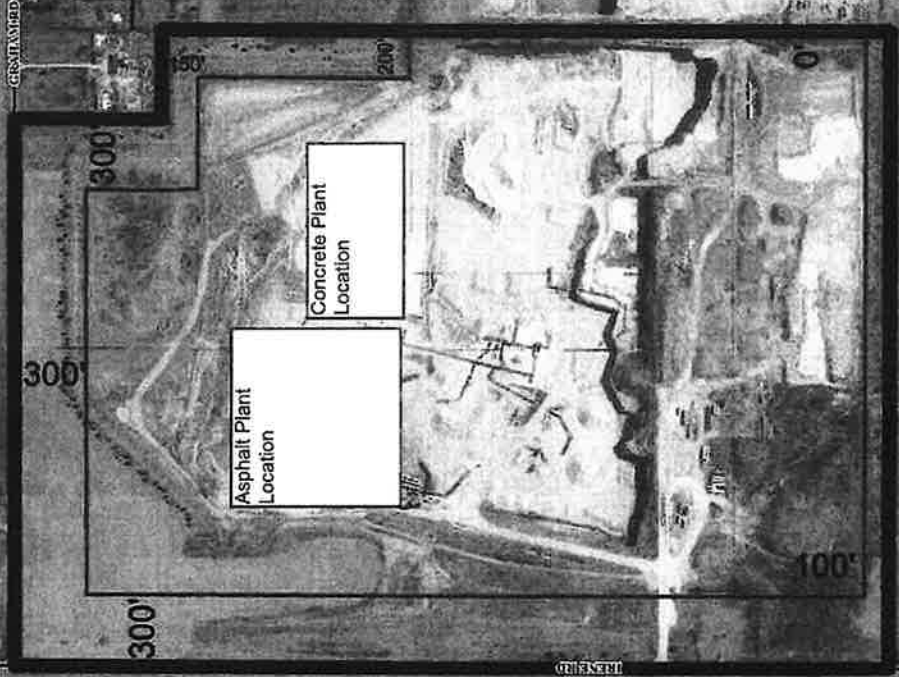
BELVIDERE STONE, L.L.C.
 4820 FOREST HILL ROAD
 LOVES PARK, IL 61111
 314-264-3257
 314-264-7171 (fax)

DATE	11/10
BY	JL
CHECKED BY	JL
SCALE	1"=150'
PROJECT NO.	10-001
DATE PLOTTED	11/10
SCALE	1"=150'
PROJECT NO.	10-001
DATE PLOTTED	11/10



Asphalt Plant
Location

Concrete Plant
Location



GENTLEWOOD
WALTON
KINDRICK
GLASSBORO

LAKESHORE

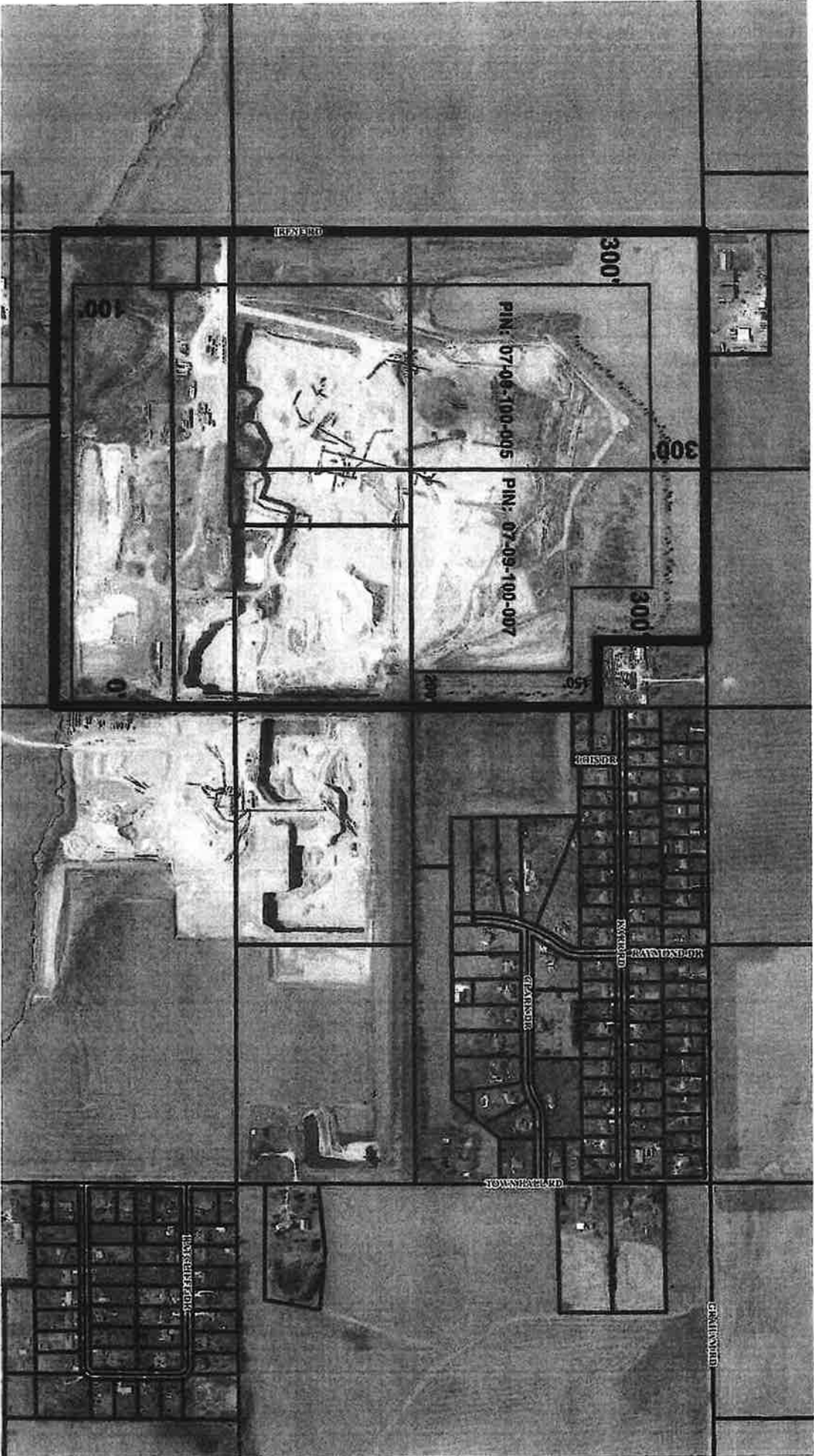


EXHIBIT C
ZONING CLASSIFICATIONS

Zoning will be as set forth in Section 4 of this Agreement.

EXHIBIT D CONDITIONS

Conditions

Special Conditions applicable to the use of the Property for the extraction of aggregate material and uses incident and ancillary to aggregate material production:

Definitions.

Where a capitalized term is used and is referenced in the underlying Agreement, the use of that term in this Exhibit shall have the same meaning as established in the underlying Agreement.

Batch Plant Operations shall mean the operation of an asphalt batch plant and / or a concrete batch plant (but only one of each is permitted).

“Expansion Area shall mean the parcels currently designated as PIN 07-09-100-005 and PIN 07-09-100-007.

“Extraction Operations” shall mean the actual separation of aggregate material from the earth and all pre-processing operations.

“Landscaped Area” shall mean that area designated on the Site Plan previously landscaped with screening around the actual area where Extraction Operations are conducted as required by the 2005 Annexation Agreement

“Mining Activities” shall mean Extraction Operations and overburden stripping, post-separation processing, grading, sorting, loading, delivery, storage of on site produced product, and any other activity necessary for the operation of a rock quarry.

“Mine Operator” shall mean Rock Road, LLC, its heirs, successors and assigns as well as the Owner as defined in this Annexation Agreement.

“Site Plan” shall mean the plan attached to the Agreement designating the various use areas within the Property.

Mine Operations

- 1.1 The City shall be entitled to inspect the facility at reasonable times to enforce the conditions imposed under this Agreement and the ordinances of the City.

- 1.2 The hours of operation for Mining Activities and Batch Plant Operations on the Property shall be from 5:00 a.m. to 10:00 p.m., weekdays and Saturdays for a total of two 8 ½ hour work shifts per work day. The operating hours shall be extended or altered hours, if reasonably approved by the City, to permit the Owner(s) to conduct Extraction Operations, Mining Activities, Batch Plant Operations as needed on a temporary basis when reasonably necessary to meet the requirements of specific municipal, township, county, federal or state projects. Examples of projects for which extended hours are reasonable include specified projects for the Illinois Department of Transportation, the Illinois Toll Highway Authority and other state, federal and local government projects. There shall be comparable time limitations and allowances on the operation of a concrete or asphalt batch plant whether producing asphalt or other construction products pursuant to an identified construction contract.

Notwithstanding any other provision of these conditions, in the event of a substantial municipal, township, county or state project or a substantial and significant private project that provides economic benefits to the City Owner may, if reasonably approved in advance by the City Mayor install and operate an additional portable asphalt and/or concrete batch plant. In that event Owner shall notify the City of the necessity, identify the duration, and remove the temporary portable plant at the end of the project.

City and Owner(s) acknowledge that a portion of Owner's operations must necessarily include the use of explosive devices (commonly referred to as blasting) to effectuate the removal of aggregate from the quarry. Both Parties recognize that blasting has the potential of disturbing those around the Property. Therefore, notwithstanding the foregoing, blasting shall only occur on authorized days of operation between the hours of 10:30 a.m. and 3:30 p.m.

- 1.3. a. The Mine Operator shall equip all of its vehicles and equipment with visual and audible back-up warning devices. In all cases when the Mine Operator conducts hours of operation before dawn or after dusk, and where permitted by law, the mine operator shall require that its equipment and vehicles shall use visual back-up warning devices in lieu of audible back-up warning devices.
- b. The Mine Operator shall provide the City with an annual schedule showing all permits and bonds applicable to the facility. The Mine Operator shall also provide the City and Boone County Sheriff with an annual blasting schedule at the beginning of each construction season and periodic updates as the construction season progresses.
- 1.4 All processing and stockpiling of aggregate material shall be conducted on the floor of the quarry so that the stockpiles are below the sightline elevation of the screening berms. Any Batch Plant Operations or aggregate recycling equipment shall be located on the quarry floor except when it is not feasible and another location is approved by the City.

- 1.5 The Parties acknowledge that prior to commencement of Mining Activities pursuant to the 2005 Annexation Agreement the Mine Operator conducted a condition survey of participating residential properties within one-half (1/2) mile of the Property. .
- 1.6 During the period of the Mining Activities the Mine Operator shall maintain two (2) groundwater monitoring wells up-gradient of the Mining Activities and two (2) groundwater monitoring wells down-gradient of the Mining Activities which shall be located in an area acceptable to the City. The Mine Operator will conduct a sampling program that samples each monitoring well not less than annually for any effect of the Mining Activities on the suitability of the groundwater for residential purposes. The Mine Operator shall provide the City with all results, including but not limited to all reports and documents of any kind, within 10 days of receipt of the sampling results. The City may share those results with any party, including but not limited to residents within proximity to the mine.
- 1.7 The Mine Operator shall at no cost to the property owner, repair or replace any well or residential foundation located within one-half (1/2) mile of the Property that has been surveyed pursuant to condition 1.5, above, determined to be sound and in good operating condition and is later damaged or becomes inoperable as a result of the use of explosives as a part of Mining Activities. In addition, the Mine Operator shall, at no cost to the property owner, purchase, repair or replace any residential structure that has been surveyed, determined to be sound, and that is later damaged as a result of the use of explosives as a part of the Mining Activities.
- 1.8 The Mine Operator shall require all vehicles hauling aggregate or earth material and all other construction equipment and vehicles to and from the quarry to enter and exit the quarry using Irene Road. The Mine Operator shall require all hauling vehicles under its control to maintain appropriate covers over their aggregate loads to prevent any spillage of a load. The Mine Operator shall use its best efforts to cause hauling vehicles not under its control to cover aggregate loads with tarps.
- 1.9 The Mine Operator shall comply with all City ordinances and state regulations governing stormwater management, erosion, and sediment control, provided, however that the Mine Operator may continue to use the stormwater management plan now in effect and as authorized by the Illinois Environmental Protection Agency for those portions of the property currently designated for mineral extraction.
- 1.10 The Mine Operator shall complete, construct, and maintain of screening berms and landscaping as designated on the Site Plan to screen operations from the residential subdivision to the East of the Property (the Karr Farm Subdivision). The Mine Operator shall also install and maintain an eight (8) foot high security fence reasonable acceptable to the City to prevent access to the Property from the Karr

Farm Subdivision.. The Mine Operator shall maintain the existing security fence around the current excavation area.

- 1.11 The facility shall be operated in compliance with all applicable environmental, blasting, and mining laws and other health and safety regulations, including those of the Illinois Environmental Protection Agency, the United States Mine Safety Health Administration, and the Illinois Department of Natural Resources Division of Mines and Minerals. The Mine Operator shall keep records demonstrating compliance and those records shall be made available to the City upon request.
- 1.12 The Mine Operator shall not conduct any Mining Activities, stockpiling, asphalt or concrete batch plant operations within the setback areas outlined in Exhibit . The setback area includes 300' on the north, 300' on the west, 100' feet on the south and 300', 150' 200' and 0' on the east, as shown in Exhibit B.

Site Development and Reclamation

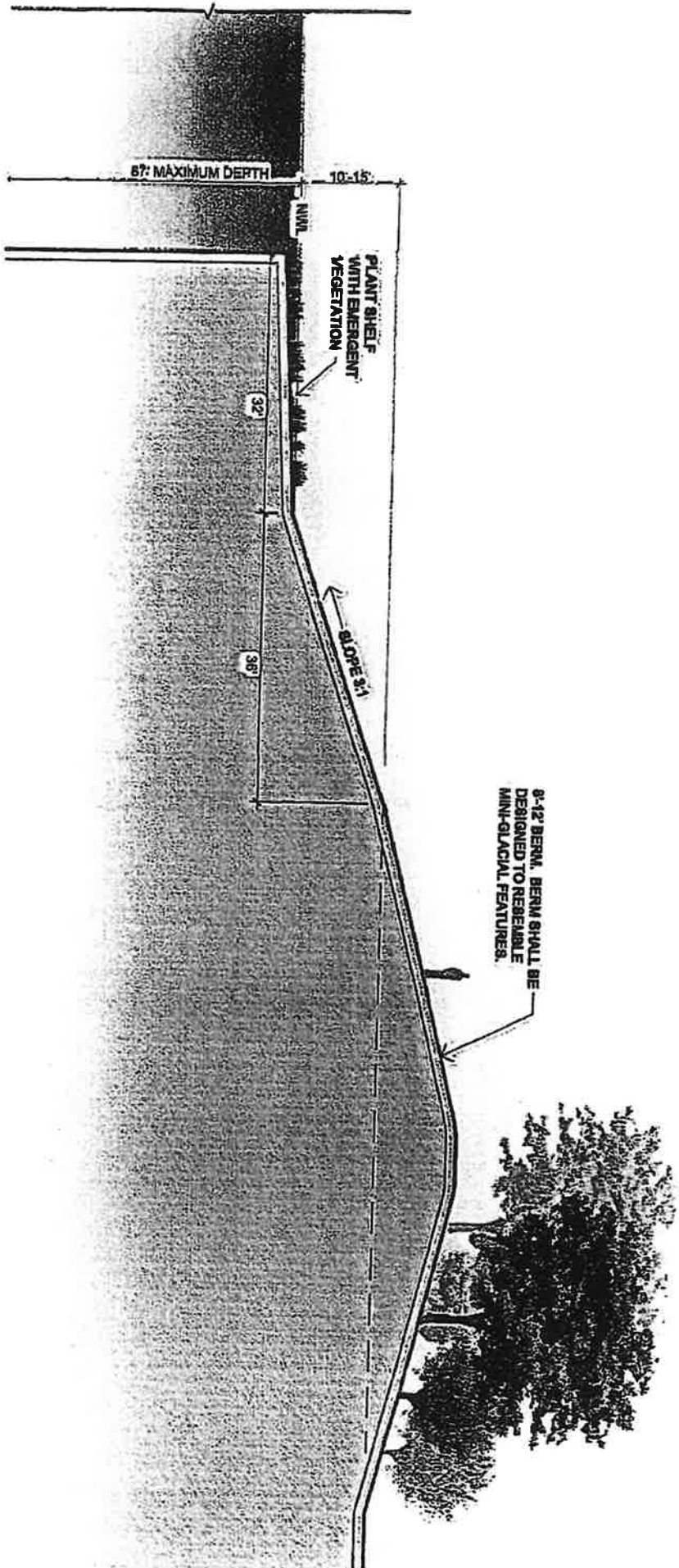
- 2.0 The Owner(s) shall revise its Reclamation Plan for the Property in accordance with the applicable regulations of the Illinois Environmental Protection Agency, the Illinois Department of Natural Resources Division of Mines and Minerals and the reasonable requirements of the City. The revised Reclamation Plan shall be filed prior to the execution of the Annexation Agreement and must comply with relevant State and Federal laws as well as the reasonable requirements of the City. The reclamation plan shall provide that upon the termination of Mining Activities, that part of the Property used for Extraction Operations shall be allowed to fill with water to form a lake. The shorelines along the west line of the Extraction Limit and in any areas where new mineral extraction occurs will be sloped to provide a stable and gradual transition from the surface elevation to the estimated mean water level. The shoreline shall be graded to provide a fifty (50) foot wide shelf around the lake perimeter to provide for a gradual underwater fall off of the shoreline. The Reclamation Plan shall be implemented and maintained by the Mine Operator, the property owner of any part of the Property, or their successors and assigns, in substantial compliance with the Reclamation Plan incorporated into this Exhibit D, or as amended by the City. All setbacks should be shown on the mine plan and reclamation plan.

Upon the completion of Mining Activities on the Property, the Owner shall construct all improvements required by the Reclamation Plan. The Reclamation Plan shall be fully implemented and all required improvements complete within eighteen months (18) of cessation of all ~~batch plant and~~ Mining Activities.

- 2.1 The Mine Operator shall provide a bond reasonable acceptable to the City to secure the performance of the reclamation plan for the Property. The bond provided to the City shall be in the amount of \$5,000.00 per acre for each acre in the on which

mining activities take place. The amount of the bond shall be adjusted annually to reflect the effect of inflation. The increase shall be based upon the CPI-U index. In the event that index is no longer reported, the parties shall agree on a mutually agreeable index.

- 2.2 All equipment and other improvements to the Property which are used for Mining Activities on the Property shall be removed within one year after the cessation of all Mining Activities on the Property, provided, however, that all stockpiled materials shall be removed or re-graded within two years after the cessation of all Mining Activities. During this period the Mine Operator shall be entitled to maintain on the Property and use any equipment necessary for the proper loading, delivery, and weighing of material to wind-up Mining Activities, an asphalt batch plant, a concrete batch plant, and implement the reclamation plan. All batch plant operations shall cease immediately upon cessation of mining activities
- 2.3 The area shown on the Site Plan as the Landscaped Area shall be landscaped, bermed, and maintained as shown on the landscaping plan that is attached to and incorporated in this Exhibit D and in accordance with the landscaping provisions of the zoning ordinance of the City. In this regard, berms and other similar landscaping features incorporated into the Landscaped Area shall be designed and maintained to appear as natural landforms resembling mini-glacial features such as drumlins, eskers, or moraines, rather than as artificial man-made “loaves” or “bars” as much as is reasonably possible. Landscape plantings and vegetation for the berming shall be of the type, species, and genus approved for general landscape plantings within Boone County by the Boone County Conservation District and as reasonably required or allowed by the City. The planting of all vegetation, and the construction of all, berms, and other landscaping features designated in the Landscaped Area shall be commenced and completed within eight (8) months of the commencement of Mining Activities in the Expansion Area, provided, however, that the berms identified in the Operational Landscape Plan lying between the designated excavation area located in the Expansion Area and the subdivision lying east of the Property shall be completed prior to commencement of Mining Activities in the Expansion Area.
- 2.4 The Mine Operator shall comply with all setbacks and excavation limits indicated on Site Plan Exhibit B.



SECTION
 SCALE: 1" = 10'

8'-12" BERM. BERM SHALL BE
 DESIGNED TO RESEMBLE
 MINI-GLACIAL FEATURES.

PLANT SHELF
 WITH EMERGENT
 VEGETATION

67' MAXIMUM DEPTH

10'-15'

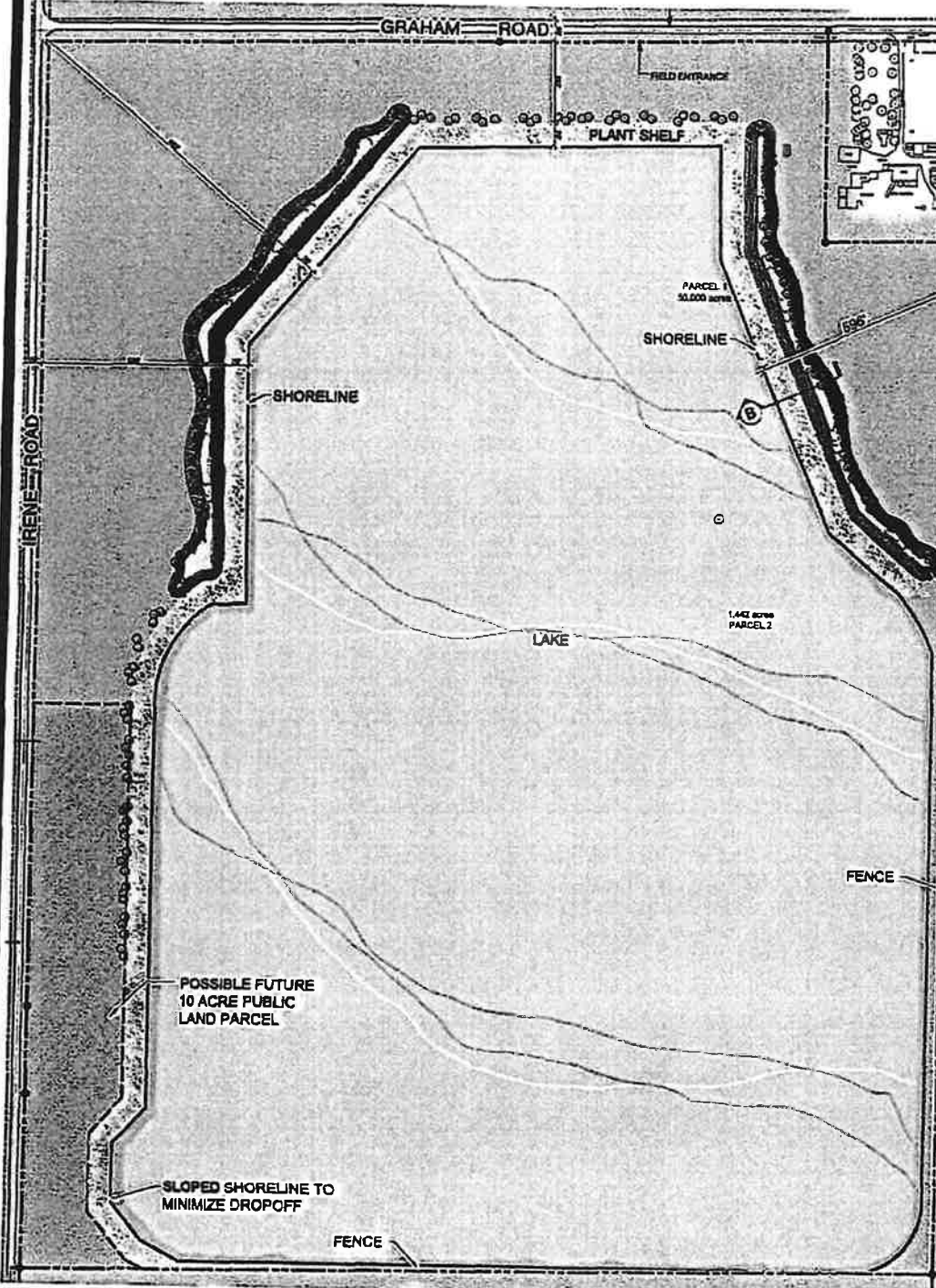
N.M.

32'

36'

SLOPE 3:1

IKENE QUARRY BELVIDERE, ILLINOIS



SUGGESTED PLANT MATERIAL

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
DECIDUOUS TREES				
DT01	Acer sp.	Red Maple	18" Cal.	100
DT02	Quercus sp.	White Oak	18" Cal.	100
DT03	Prunella sp.	Black Cherry	18" Cal.	100
DT04	Amelanchier sp.	Winged Sp. Dogwood	18" Cal.	100
DT05	Salix sp.	Willow	18" Cal.	100
DT06	Alnus sp.	Alder	18" Cal.	100
DT07	Fraxinus sp.	Green Ash	18" Cal.	100
DT08	Ulmus sp.	Elm	18" Cal.	100
DT09	Platanus sp.	Sycamore	18" Cal.	100
DT10	Corylus sp.	Hickory	18" Cal.	100
DT11	Castanea sp.	Chestnut	18" Cal.	100
DT12	Liriodendron sp.	Tulip Tree	18" Cal.	100
DT13	Thuja sp.	Arborvitae	18" Cal.	100
DT14	Juniperus sp.	Juniper	18" Cal.	100
DT15	Thuja sp.	Arborvitae	18" Cal.	100
DT16	Juniperus sp.	Juniper	18" Cal.	100
DT17	Thuja sp.	Arborvitae	18" Cal.	100
DT18	Juniperus sp.	Juniper	18" Cal.	100
DT19	Thuja sp.	Arborvitae	18" Cal.	100
DT20	Juniperus sp.	Juniper	18" Cal.	100
DT21	Thuja sp.	Arborvitae	18" Cal.	100
DT22	Juniperus sp.	Juniper	18" Cal.	100
DT23	Thuja sp.	Arborvitae	18" Cal.	100
DT24	Juniperus sp.	Juniper	18" Cal.	100
DT25	Thuja sp.	Arborvitae	18" Cal.	100
DT26	Juniperus sp.	Juniper	18" Cal.	100
DT27	Thuja sp.	Arborvitae	18" Cal.	100
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DT90	Juniperus sp.	Juniper	18" Cal.	100
DT91	Thuja sp.	Arborvitae	18" Cal.	100
DT92	Juniperus sp.	Juniper	18" Cal.	100
DT93	Thuja sp.	Arborvitae	18" Cal.	100
DT94	Juniperus sp.	Juniper	18" Cal.	100
DT95	Thuja sp.	Arborvitae	18" Cal.	100
DT96	Juniperus sp.	Juniper	18" Cal.	100
DT97	Thuja sp.	Arborvitae	18" Cal.	100
DT98	Juniperus sp.	Juniper	18" Cal.	100
DT99	Thuja sp.	Arborvitae	18" Cal.	100
DT100	Juniperus sp.	Juniper	18" Cal.	100

EMERGENT WETLAND SEED MIX

SYMBOL	COMMON NAME	QTY
EW01	Wetland Seed Mix	10000

RECLAMATION PLAN

SCALE 1"=150'

Lannert Group
 Landscape Architecture • Planning • Community Consulting
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 Geneva, Illinois 60134
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 Fax (630) 206-8000
 www.lannert.com
 @lannert.com

BELVIDERE STONE, LLC.
 4830 FOREST HILL ROAD
 LOVES PARK, IL 61111
 315-654-5257
 315-364-4717 (Toll Free)

REVISIONS

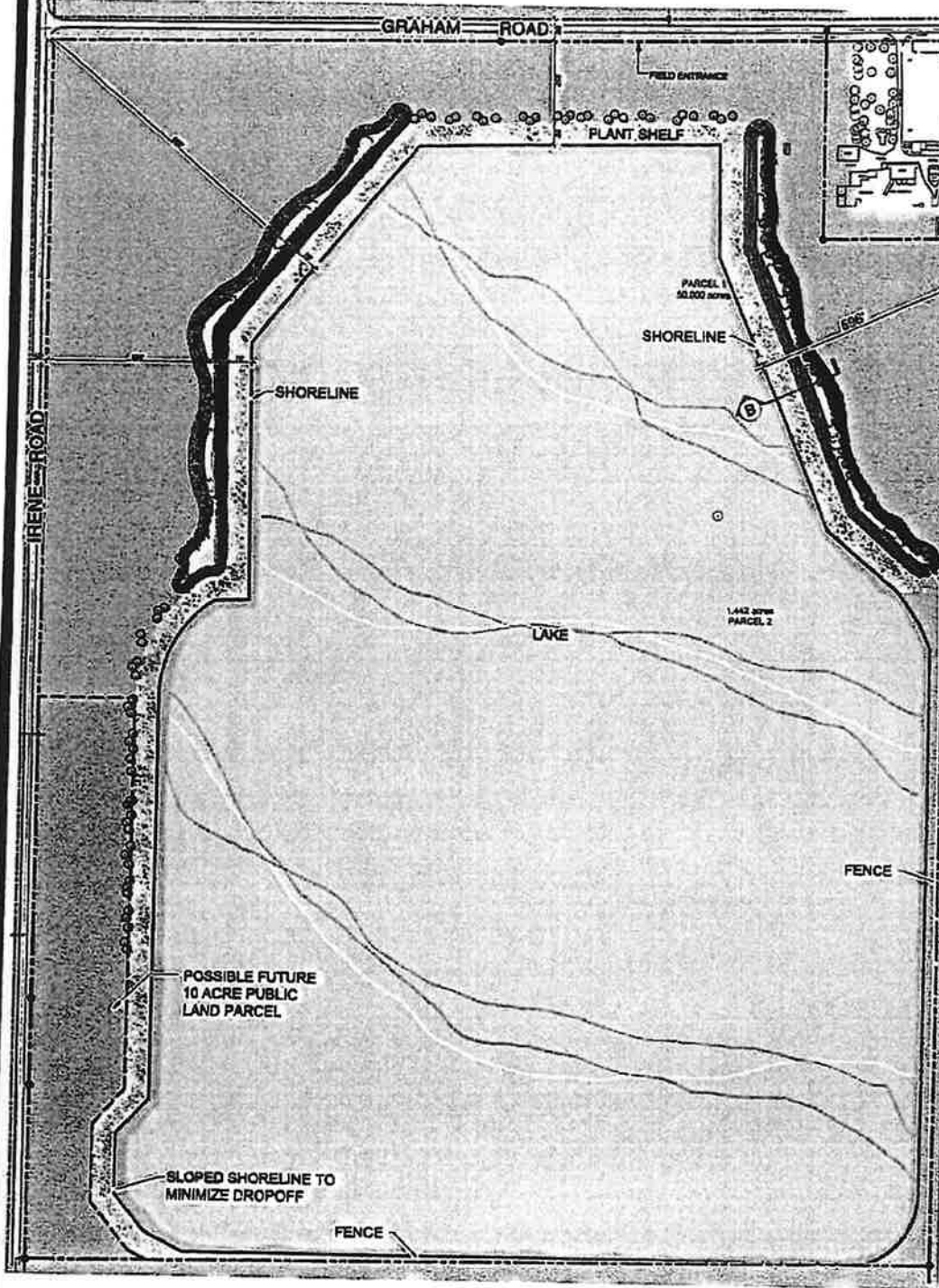
NO.	DATE	DESCRIPTION
1	05/12/10	ISSUED FOR PERMIT
2	06/15/10	REVISIONS TO PERMIT
3	08/20/10	FINAL REVISIONS
4	10/15/10	AS-BUILT

PROJECT INFORMATION

DATE	05/12/10
PROJECT NO.	1010
CLIENT	BELVIDERE STONE, LLC.
LOCATION	IKENE QUARRY, BELVIDERE, IL

IKENE QUARRY

BELVIDERE, ILLINOIS



SUGGESTED PLANT MATERIAL

SYMBOL	WETLAND PLANT NAME	COMMON NAME	SIZE	QUANTITY
DECIDUOUS TREES				
...
CONIFER TREES				
...
ORNAMENTAL TREES				
...
EMERGENT WETLAND SEED MIX				
PERMANENT GRASSES				
...
TEMPORARY COVER				
...

RECLAMATION PLAN



Lannert Group
 Landscape Architecture • Planning • Community Consulting
 215 Fulton Street
 Geneva, Illinois 30134
 (630) 204-8088
 Fax (630) 203-9580
 www.lannertgroup.com
 lg@lannert.com

BELVIDERE STONE, LLC.
 4820 FOREST HILL ROAD
 LOVES PARK, IL 61111
 315-584-5237
 315-584-7117 (fax)

DATE	10/11/11
SCALE	1" = 150'
PROJECT	IKENE QUARRY
DRAWN BY	...
CHECKED BY	...
DATE	10/11/11

EXHIBIT E
IMPACT FEES

BELVIDERE SCHOOL DONATION FORMULA

	Acres/School	Max. Students	Acres/Student
Elementary School	16	600	0.028867
Junior High	30	900	0.033
7th & 8th High School	70	1500	0.047

	Acres/School	\$/Acre	\$ per student
Elementary	0.028867	\$120,000.00	\$3,200.00
Junior High	0.033	\$120,000.00	\$4,000.00
High School	0.047	\$120,000.00	\$5,600.00

STUDENT RATIO/UNIT

	1 Bed. Apartment \$/Student	Student/Apt.	Fee
Elementary	\$3,200.00	0.002	\$6.40
Junior High	\$4,000.00	0.001	\$4.00
High School	\$5,600.00	0.001	\$5.60
TOTAL			\$16.00

	2 Bed Apartment		
Elementary	\$3,200.00	0.086	\$275.20
Junior High	\$4,000.00	0.042	\$168.00
High School	\$5,600.00	0.046	\$257.80
TOTAL			\$700.80

	3 Bed Apartment		
Elementary	\$3,200.00	0.234	\$748.80
Junior High	\$4,000.00	0.123	\$492.00
High School	\$5,600.00	0.118	\$660.80
TOTAL			\$1,901.60

	1 Bed S.F. Attached		
Elementary	\$3,200.00	0.014	\$44.80
Junior High	\$4,000.00	0.018	\$72.00
High School	\$5,600.00	0.024	\$134.40
TOTAL			\$251.20

	2 Bed S.F. Attached		
Elementary	\$3,200.00	0.088	\$281.60
Junior High	\$4,000.00	0.048	\$192.00
High School	\$5,600.00	0.038	\$212.80
TOTAL			\$686.40

	3 Bed S.F. Attached		
Elementary	\$3,200.00	0.234	\$748.80
Junior High	\$4,000.00	0.058	\$232.00
High School	\$5,600.00	0.059	\$330.40
TOTAL			\$1,311.20

	4 Bed. S.F. Attached		
Elementary	\$3,200.00	0.322	\$1,030.40
Junior High	\$4,000.00	0.154	\$616.00
High School	\$5,600.00	0.173	\$988.80
Total			\$2,615.20

	2 Bed S.F. Detached		
Elementary	\$3,200.00	0.136	\$435.20
Junior High	\$4,000.00	0.048	\$192.00
High School	\$5,600.00	0.020	\$112.00
			\$739.20

	3 Bed S.F. Detached		
Elementary	\$3,200.00	0.369	\$1,180.80
Junior High	\$4,000.00	0.173	\$692.00
High School	\$5,600.00	0.184	\$1,030.40
TOTAL			\$2,903.20

	4 Bed. S.F. Detached		
Elementary	\$1,673.33	0.530	\$888.86
Junior High	\$4,000.00	0.288	\$1,192.00
High School	\$5,600.00	0.360	\$2,016.00
TOTAL			\$4,094.86

	5 Bed. S.F. Detached		
Elementary	\$3,200.00	0.345	\$1,104.00
Junior High	\$4,000.00	0.248	\$992.00
High School	\$5,600.00	0.300	\$1,680.00
TOTAL			\$3,776.00

**CITY OF BELVIDERE
PARK IMPACT FEE FORMULA**

6.25 Acres per 1,000 population
0.00625 Acres Per Person

Land Value Per Acre \$120,000.00

Housing Type:	People Per Unit	Acres Per Person	Acres Per unit	Value of Land	Fee
Apartments					
1 Bedroom	1.758	0.00625	0.010988	\$120,000.00	\$1,318.50
2 Bedroom	1.914	0.00625	0.011963	\$120,000.00	\$1,435.50
3 Bedroom	3.053	0.00625	0.019081	\$120,000.00	\$2,289.75
Single Family Attached					
1 Bedroom	1.193	0.00625	0.007456	\$120,000.00	\$894.75
2 Bedroom	1.990	0.00625	0.012438	\$120,000.00	\$1,492.50
3 Bedroom	2.392	0.00625	0.014950	\$120,000.00	\$1,794.00
4 Bedroom	3.145	0.00625	0.019656	\$120,000.00	\$2,358.75
Single Family Detached					
2 Bedroom	2.017	0.00625	0.012606	\$120,000.00	\$1,512.75
3 Bedroom	2.899	0.00625	0.018119	\$120,000.00	\$2,174.25
4 Bedroom	3.764	0.00625	0.023525	\$120,000.00	\$2,823.00
5 Bedroom	3.770	0.00625	0.023563	\$120,000.00	\$2,827.50

**CITY OF BELVIDERE
CONSERVATION DISTRICT IMPACT FEES**

12 Acres per 1,000 population
0.012 Acres Per Person

Land Value Per Acre \$20,700.00

Housing Type:	People Per Unit	Acres Per Person	Acres Per unit	Value of Land	Fee
Apartments					
1 Bedroom	1.758	0.012	0.021096	\$20,700.00	\$436.69
2 Bedroom	1.914	0.012	0.022968	\$20,700.00	\$475.44
3 Bedroom	3.053	0.012	0.036636	\$20,700.00	\$758.37
Single Family Attached					
1 Bedroom	1.193	0.012	0.014316	\$20,700.00	\$296.34
2 Bedroom	1.99	0.012	0.02388	\$20,700.00	\$494.32
3 Bedroom	2.392	0.012	0.028704	\$20,700.00	\$594.17
4 Bedroom	3.145	0.012	0.03774	\$20,700.00	\$781.22
Single Family Detached					
2 Bedroom	2.017	0.012	0.024204	\$20,700.00	\$501.02
3 Bedroom	2.899	0.012	0.034788	\$20,700.00	\$720.11
4 Bedroom	3.764	0.012	0.045168	\$20,700.00	\$934.98
5 Bedroom	3.77	0.012	0.04524	\$20,700.00	\$936.47

CURRENT

**POLICE FIRE PUBLIC WORKS
ANNEXATION IMPACT FEES**

The following impact fees shall be assessed on a per dwelling unit (DU) basis in all Annexations resulting in the subdivision of land. Fees are based upon the cost of operating each department divided by total population and multiplied by the anticipated impact of the development.

Fees shall be paid by the Owner, or his successor prior to approval of any final plat or no later than 19 years after execution of the Annexation Agreement, whichever is earlier. Alternatively, the City and Owner may agree that these fees may be paid at the Police, Fire and Public Works impact fees may be paid at the time a building permit is issued at the then current impact fee rate plus 10%.

POPULATION 23532
Persons per dwelling 2.932

RESIDENTIAL DEVELOPMENT

I. POLICE

General Operations \$4,856,651.00
Capital Funds \$373,214.00
Building Fund \$750,000.00
PSB Expenses \$538,772.00
sub total \$6,518,637.00

Total Expenditures / Population = Cost Per Person
\$6,518,637.00 / 23532 = \$277.01

CPP x PPD **POLICE IMPACT FEE**
\$812.20 per du

II FIRE

General Operations \$3,172,653.00
Capital Funds \$575,000.00
Building Fund \$2,000,000.00
sub total \$5,747,653.00

Total Expenditures / Population = Cost Per Person
5,747,653.00 / 23,532.00 = 244.25

CPP X PPD **FIRE IMPACT FEE**
\$716.14 per du

III PUBLIC WORKS

General Operations \$166,627.00
Streets \$1,280,275.00
Street Lighting \$226,198.00
MFT Expenditures \$809,832.00
Capital Funds \$214,000.00
sub total \$2,696,932.00

Total Expenditures / Population = Cost Per Person
\$2,696,932.00 / 23,532.00 = \$114.61

CPP x PPD **PUBLIC WORKS IMPACT FEE**
\$336.03 per du

TOTAL RESIDENTIAL IMPACT FEE **\$1,864.36** per du plus 10% admin Fee if paid at Building permit

COMMERCIAL DEVELOPMENT

Commercial Development Impact Fees are assessed on a per unit basis (i.e., a commercial development with 5 individual stores will pay 5 impact fees. A commercial development in the form of a 4 unit strip mall all under one roof would pay 4 impact fees. For purposes of assessing Commercial Impact Fees, it is assumed that each unit will have the same impact as a single residential unit.

Fees shall be paid by the Owner, or his successor, prior to approval of any final plat or no later than 19 years after execution of the Annexation Agreement, whichever is earlier. Alternatively, the City and Owner may agree that the the Police, Fire and Public Works impact fees may be paid at the time a building permit is issued at the then current impact fee rate plus 10%.

I. POLICE \$812.20

II. FIRE \$716.14

III. PUBLIC WORKS \$336.03

TOTAL COMMERCIAL FI **\$1,864.36** per unit plus 10% admin Fee if paid at Building permit

ORDINANCE #655H
 AN ORDINANCE AMENDING SECTION 110-91, STOP STREETS,
 OF THE CITY OF BELVIDERE MUNICIPAL CODE
 TO ADD UNION AVENUE AT WEST 6th STREET
 AS A FOUR-WAY STOP INTERSECTION

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Belvidere as follows:

SECTION 1: Section 110-91, Stop Streets, of the City of Belvidere Municipal Code is hereby amended to add the intersection of Union Avenue and West 6th Street as a four-way stop intersection:

Union Ave.	West 6 th St.	All/ 4-Way	
------------	--------------------------	------------	--

SECTION 2: The Official Traffic Regulation Map shall be amended in conformance with this Ordinance.

SECTION 3: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 4: All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 5: This Ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as required by law which publication is hereby authorized.

Voting Aye: .
 Voting Nay: .
 Absent: .

APPROVED:

Mayor Clinton Morris

ATTEST:

City Clerk Sarah Turnipseed

(SEAL)

Passed:
Approved:
Published:

J:\Draft Ordinances\Amend 110-91 Union & 6th.doc

ORDINANCE #656H
AN ORDINANCE AMENDING SECTION 14-152
OF THE CITY OF BELVIDERE MUNICIPAL CODE
TO INCREASE THE NUMBER OF VIDEO GAMING LOCATION PERMITS
AND PROVIDE FOR NON-ABANDONMENT OF LICENSES
PENDING STATE APPROVAL

NOW, THEREFORE BE IT ORDAINED by the Mayor and City Council of the City of Belvidere, Boone County, Illinois, as follows:

SECTION 1: Section 14-152 of the City of Belvidere Municipal Code is amended to read as set forth in the attached Exhibit A which is incorporated herein by this reference.

SECTION 2: If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage and publication in pamphlet form as required by law which publication is hereby authorized.

Voting Aye:
Voting Nay:
Absent:

APPROVED:

Clinton Morris
Mayor

ATTEST: _____
Sarah Turnipseed
City Clerk (SEAL)

Passed:
Approved:
Published:

Sec. 14-452. Permits required.

- (a) No licensed location shall operate video gaming terminals without first obtaining a location permit from the city clerk and paying the terminal registration fees provided for in this article. The privilege of operating a licensed location in the city is purely a personal privilege associated with a specific location and a location permit is non-transferable to another location. However, upon the transfer or sale of a licensed location to a new entity, the location permit, that has not been abandoned or surrendered, shall transfer to the new entity upon approval of any new liquor license and payment of the video gaming terminal fees provided for under this article.
- (b) Receipt of a location permit shall not relieve any person from obtaining any other necessary state or local permits, licenses or approvals, including, but not limited to any zoning relief, and a location permit shall not be valid until all such permits, licenses and approvals are received.
- (c) In the event a licensed location ceases operating video gaming terminals for 60 days or more the location permit as well as the video gaming terminal registrations shall be deemed abandoned and forfeited. In the event of a sale or transfer of the business at a licensed location, the video gaming registrations and location permit shall not be deemed abandoned if the new owner promptly files for a State of Illinois video gaming license and the State of Illinois fails to grant or deny the State video gaming license within 60 days of the transfer of the business. If the State of Illinois denies the license, after exhausting appeals, then the video gaming terminal registrations and the location permit shall be deemed forfeited.
- (d) The owner or business operator of a licensed location shall immediately surrender a location permit upon ceasing business operations or upon the removal of all video gaming terminals from the licensed location.
- (e) There shall not be more than 50 licensed locations within the city at any one time nor more than 50 location permits issued by the city clerk.

Memo

To: Mayor and City Council
From: Brent Anderson, Director of Public Works
Date: December 12, 2023
Re: Well #11 Drilling - Bid Tabulation

The following bids were received for the drilling of Well #11, located at 3081 Huntington Drive:

- | | |
|---|----------------|
| 1. Municipal Well & Pump
1212 Storbeck Drive
Waupun, Wisconsin 53963 | \$1,380,138.00 |
| 2. Cahoy Pump Service
24568 150 TH Street
Sumner, IA 50674 | \$1,498,257.00 |
| 3. Great Lakes Water Resources Group, Inc
1127 Plainfield Road
Joliet, Illinois 60435 | \$2,210,940.00 |

The drilling of Well #11 will be financed by an IEPA Public Water Supply Loan and includes \$1,300,000 in principal forgiveness as part of the State's PFAS Program.

I would recommend approval of the low bid from Municipal Well & Pump, in the amount of \$1,380,138.00, to complete the drilling of Well #11. This work will be paid for from the IEPA Public Water Supply Loan Program.